



**Murray City Planning Commission Meeting
Notice of Meeting and Agenda**

**Thursday, December 5th, 2024, 6:30 p.m.
Murray City Hall, 10 East 4800 South, Council Chambers**

The public may view the Murray Planning Commission meeting via live stream at www.murraycitylive.com or <https://www.facebook.com/Murraycityutah/>. You may submit comments via email at planningcommission@murray.utah.gov. Comments are limited to 3 minutes or less, and written comments will be read into the meeting record. Please include your name and contact information.

Supporting materials are available at <https://www.murray.utah.gov/779/Agendas-Attachment>.

CALL MEETING TO ORDER

BUSINESS ITEMS:

1. Approval of Minutes
 - a. October 17th, 2024
 - b. November 7th, 2024
2. Conflict of Interest
3. Approval of Findings of Fact
 - a. Crockett Auto Sales – Conditional Use Permit
 - b. Murray Field Townhomes – Conditional Use Permit
 - c. Murray Field Townhomes – Preliminary Subdivision

SITE PLAN REVIEW(S) – ADMINISTRATIVE ACTION

4. Lazy Dog Restaurant
102 East Winchester Street
Site Plan Review for a New Restaurant Project # 24-123

CONDITIONAL USE PERMIT(S) – ADMINISTRATIVE ACTION

5. Game Show Battle room
6148 South State Street Suite B
Conditional Use Permit for Game Show Entertainment Business Project # 24-124
6. Villages on Vine
5425 South Vine Street
Planned Unit Development of Fifty-Five Townhomes Project # 24-131

SUBDIVISION(S) – ADMINISTRATIVE ACTION

7. Villages on Vine
5425 South Vine Street
Preliminary Subdivision Approval for Fifty-Five Townhomes Project # 24-130

8. Murray Burton Acres Flag Lot Subdivision
5991 & 6001 South Belview Avenue
Preliminary and Final Subdivision Approval for Two Flag Lots

Project # 24-126

ANNOUNCEMENTS AND QUESTIONS

ADJOURNMENT

The next scheduled meeting will be held on Thursday, December 19, 2024, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

Those wishing to have their comments read into the record may send an email by 5:00 p.m. the day prior to the meeting date to planningcommission@murray.utah.gov. Comments are limited to three minutes or less (approximately 300 words for emails) and must include your name and address.

Special Accommodations for the hearing or visually impaired will be made upon a request to the office of Murray City Recorder (801-264-2662). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

Committee members may participate in the meeting via telephonic communication. If a Committee member does participate via telephonic communication, the Committee member will be on speakerphone. The speakerphone will be amplified so that the other Committee members and all other persons present will be able to hear all discussions.

No agenda item will begin after 10:00 p.m. without a unanimous vote of the Commission.

At least 24 hours prior to the meeting, a copy of the foregoing notice was sent to the City Recorder to post in conspicuous view in the front foyer of the Murray City Center, Murray, Utah. A copy of this notice was also posted on Murray City's internet website www.murray.utah.gov and the state noticing website at <http://pmn.utah.gov>.

~DRAFT~

Minutes of the Planning Commission meeting held on Thursday, October 17TH, 2024, at 6:30 p.m. in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

A recording of this meeting is available for viewing at <http://www.murray.utah.gov> or in the Community and Economic Development office located at 10 East 4800 South, Suite 260.

The public was able to view the meeting via the live stream at <http://www.murraycitylive.com> or <https://www.facebook.com/Murraycityutah/>. Anyone who wanted to make a comment on an agenda item was able to submit comments via email at planningcommission@murray.utah.gov.

Present: Maren Patterson, Chair
Ned Hacker, Vice Chair
Lisa Milkavich
Jake Pehrson
Michael Henrie
Michael Richards
Pete Hristou
Zachary Smallwood, Planning Division Manager
David Rodgers, Senior Planner
Ruth Ruach, Planner I
Mark Richardson, Deputy Attorney
Members of the Public (per sign-in sheet)

The Staff Review meeting was held from 6:00 p.m. to 6:30 p.m. The Planning Commission members briefly reviewed the applications on the agenda. An audio recording is available at the Murray City Community and Economic Development Department Office.

CALL MEETING TO ORDER

Chair Patterson called the meeting to order at 6:32 p.m.

BUSINESS ITEMS

APPROVAL OF MINUTES

There were no minutes to be approved for this meeting.

CONFLICT(S) OF INTEREST

There were no conflicts of interest for this meeting.

FINDINGS OF FACT

Commissioner Pehrson made a motion to approve the findings of fact for Vara Salon Suites Conditional Use Permit. Seconded by Commissioner Milkavich.

A voice vote was taken with all in favor.

CONDITIONAL USE PERMIT(S) – ADMINISTRATIVE ACTION

Soccer House LLC - Project # 24-110 - 4083 South 420 West - Conditional Use Permit for Indoor Soccer Field in the M-G Zone

Omar Jaimes was present to represent the request. Ruth Ruach presented the application requesting conditional use permit approval to allow an indoor soccer field within the M-G Zone. She described the proposed soccer field, and showed a site plan which includes a floor plan for the existing building on the property. She said the property has shared access leading to a private lane. She said a condition of approval states that the access at 500 West will be restricted. She discussed the required parking, which the applicant will provide, including restriping of the parking lot. Notices were sent to surrounding affected property owners. No comments have been received. Staff finds that the proposed use and property will comply with the standards of Murray City Land Use Ordinance. Staff recommends that the Planning Commission approve a conditional use permit for this project.

Commissioner Henrie and staff discussed the portion of the building that this business will occupy and how it is split up. They discussed parking spaces and how they were counted. They also discussed the ADA parking requirements.

Omar Jaimes approached the podium. Chair Patterson asked if he read and can comply with the conditions. He said that he could.

Chair Patterson opened the agenda item for public comment. Seeing none, the public comment period was closed.

Vice Chair Hacker made a motion that the Planning Commission approve a Conditional Use Permit to allow an indoor soccer field at the property addressed 4083 South 420 West, subject to the following conditions:

1. The applicant shall meet all the requirements of the City Engineer including:
 - a. Provide adequate on-site parking. Parking on 500 West will be restricted.
2. The applicant will meet sewer, water, and power department requirements.
3. The applicant shall obtain a Murray City Business License prior to beginning operations at this location.
4. The project shall comply with all applicable building and fire code standards.
5. The applicant will restripe parking stalls and demonstrate the ability to provide the required parking stalls.
6. The applicant shall obtain permits for any new attached or detached signs proposed for the business.

Seconded by Commissioner Henrie. Roll call vote:

<u>A</u>	Patterson
<u>A</u>	Hacker
<u>A</u>	Milkavich
<u>A</u>	Pehrson
<u>A</u>	Richards

A Henrie
A Hristou

Motion passes: 7-0

SUBDIVISION REVIEW(S) – ADMINISTRATIVE ACTION

Addison Vista Amended - Project # 24-102 - 818 & 822 West Addison Vista Circle Amending Lots 5 and 6

Karlie Rees was present to represent this request. David Rodgers presented the application to adjust the Addison Vista subdivision to reduce lot 5 (822 West) by approximately 278 square feet and add that area to lot 6 (818 west). Mr. Rodgers provided an overview of the property's location. He described the current property and surrounding zones. He said that the applicants want to adjust the property lines between lots five and six. Public notices were mailed to affected properties. Staff has not received any email comments. Staff recommends the approval of the application.

Commissioner Milkavich asked if both lots meet the required setback. Mr. Rodgers said the change in property line does not affect the setbacks.

Karlie Rees approached the podium. Chair Patterson asked if she had read and can comply with the conditions. Ms. Rees said that she could.

Chair Patterson opened the agenda item for public comment. Seeing none, the public comment period was closed.

Commission Hacker made a motion that the Planning Commission approve the proposed Subdivision Amendment for Addison Vista Subdivision, adjusting Lots 5 and 6, which are the properties addressed 822 & 813 West Addison Vista Circle subject to the following conditions:

1. Meet the requirements of the City Engineer.
2. Meet the Power, Water, Sewer, and Fire Department requirements.
3. Meet all requirements of Section 17.100 of the Murray Land Use Ordinance for the R-1-8 Zone.

Seconded by Commissioner Henrie. Roll call vote:

A Patterson
A Hacker
A Milkavich
A Pehrson
A Richards
A Henrie
A Hristou

Motion passes: 7-0

GENERAL PLAN AND ZONE MAP AMENDMENT(S) – LEGISLATIVE ACTION

Jarred Cameron - Project # 24-111 - 6271 South 900 East - Future Land Use Amendment from Low Density Residential to Office

Jarred Cameron was present to represent the request. David Rodgers presented the application requesting a zoning map and general plan amendment for the property. He showed an overview of the property. He described details of the site. Mr. Rodgers indicated the application is to change from low-density R-1-8 zoning to G-O zoning. He explained what low-density residential is intended for, per the Future Land Use Map. He described the differences between the two types of zones and that the G-O zoning is more appropriate for the property usage. Notices were sent to affected properties and entities. Staff received two emails that were forwarded to the Planning Commission ahead of this meeting and are included in the record. Staff recommends approval for both the Murray City General Plan, Future Land Use Map, and the Murray City Zoning Map.

Jared Cameron approached the podium. He provided additional information regarding the application. He discussed the history regarding his ownership of the property and the barriers in developing it. He said this has involved changing the zoning on more than one occasion. He said that many of his plans have been strongly opposed to by the neighbors. He gave some examples of previous development ideas for the property. One of the major issues is that he isn't allowed to use the private lane to access his property. He said he's spoken with the City Council several times as well and has determined that the General Office zone is the most workable option.

The commissioners and Mr. Cameron discussed the issues with accessing the private lane. He purchased the land from UDOT and was told he can't be denied access to his land but must have an approved set of plans to approach UDOT. A few plans that he previously proposed have not been accepted.

Chair Patterson opened the agenda item for public comment.

Len Smith spoke about his home that he owns in the neighborhood and the impact on having his home be next to an office building. Exiting the neighborhood onto 900 East is difficult due to traffic. He said he searched for neighborhoods in Murray to build a home where the zoning won't be changing. He said that several developments are planned that will increase the traffic situation. He said they settled on a neighborhood adjacent to Wheeler Farm because it's agricultural. He's upset that Mr. Cameron has requested a change from agricultural to residential. He doesn't feel that an applicant should be allowed to request a zoning change without offering architectural renderings of the proposed structure.

Joyce Swan said the traffic out of Wheeler Farm Cove is very bad and adding a commercial building would make it worse. She said she's fine with him building his home there. She said that the neighbors do not intend to share access to the private lane.

Russell Swan said commercial development should not be in Wheeler Farm Cove. He said the lot is not appropriate for development. He said he does not agree with the request to change zones. He feels that the Planning Commission has already made up their minds to approve the zoning change.

Carl Lind said that he doesn't feel commercial property belongs in this area, as there are very nice homes there. He owns ten acres adjacent to Wheeler Farms Cove and proposes that the city purchase his land for water rights.

Kaelynne Nielsen asked about the difference between independent living requirements versus General Office. She provided some history regarding the process he had to go through with UDOT. She said he was informed of additional things he'd need to do that would cost him more money. She feels that's why he's trying to make the property more profitable now by building an independent living facility. She doesn't feel he fully understand what that entails, including parking for resident, staff, and visitors. She feels that more space is needed for the infrastructure as well. She also said that this facility will have a tremendous impact on traffic. She doesn't feel this should be considered until Mr. Cameron has a well-designed plan.

Susan Lind said that any structure Mr. Cameron puts up will destroy the lane.

Chair Patterson closed the public comment period for this agenda item.

Mr. Rodgers described the process for rezoning in Murray City for the residents who asked about that. He said that plans are not allowed to be presented to apply for a zone change.

Commissioner Milkavich and Mr. Smallwood discussed how the commissioners can vote on legislative items, like requests for zone changes. He said there's nothing in the code that says how the Planning Commission has to vote for a legislative item. He said what the commission is looking at is whether a proposed zone change fits within the character of the area, as well as the impact on the neighborhood and impact on traffic. He said that when the application is a project, like a conditional use permit or site plan review, the commission is bound by city ordinances.

Chair Patterson asked staff to explain why they would choose to bring request before the Planning Commission for the entire zone to be rezone instead of a specific project to be rezoned. Mr. Smallwood explained that sometimes projects change or property ownership changes and can end up very differently than what was originally brought before the Planning Commission. Looking at the entire zone helps set appropriate parameters for all future projects in zone.

Chair Patterson responded to the public comment that the Planning Commission has already made up their minds. She explained the process for approving an agenda item, which includes staff making recommendations to the Planning Commission. The commission reads staff reports and evidence before making decisions to forward approval onto the City Council.

Chair Patterson then addressed the comment that the city or Wheeler Farm should purchase Mr. Cameron's land. Mr. Smallwood said that isn't what Mr. Cameron came to city to ask and that the city does not use eminent domain to take property. He also said that property owners have rights per the United States constitution.

Chair Patterson asked Mr. Smallwood how many times a property owner may request a rezone. He said as many times as they'd like. If the request has been denied by the City Council, they have to wait one year to reapply.

Mr. Smallwood addressed the question regarding traffic. He said that 900 East was built as an arterial road and it's a state run, not managed by the city.

Mr. Rodgers addressed the question regarding parking requirements for different zones. He said those requirements are determined per use, not just per zone. It would depend specifically on the use of the property. Parking requirements are reviewed during site plan review for an application. The project is also reviewed by each department in the city to ensure it meets that department's standards.

The commissioners and staff had a discussion regarding the ordinance that no new residences may be built off a private lane. This also applies to the current resident of the private lane.

The commissioners asked staff why they chose a zone change to General Office. Several commissioners felt that a zone change to R-N-B would have been a better fit for the character of the neighborhood. They felt that General Office would be too extreme. Mr. Smallwood said that, although the commissioners don't decide the zoning based on the project, staff do discuss this with applicants. Mr. Smallwood recommended the General Office zone because it's a better fit for Mr. Cameron's desired project. He said the applicant was concerned with the design requirement of the R-N-B zone. He said that Mr. Cameron had applied for a zone change to R-N-B previously but was denied by the Planning Commission and by the City Council. They discussed possible uses for the property if it were zoned as R-1-8 or R-N-B. An important issue for consideration is that the private lane abuts the property and can't be used if a home were built on the lot. The commissioners discussed the rights of a property owner to develop and use their land. Some commissioners felt that Mr. Cameron does have options he could choose from to develop his land as it is currently zoned, that would fit the character of the neighborhood. They discussed that it isn't their decision to tell him how to develop his land. Some commissioners said that, by forwarding a recommendation for the zone change, that is, in effect, telling him what he can do with his land. Commissioner Hristou said they need to strike a balance between land-owner rights and the good of the community. Chair Patterson said she feels this scenario is "spot zoning" and that General Office is inappropriate. Some commissioners said that it's not a denial of Mr. Cameron's rights to deny him the zone change. Vice Chair Hacker said that eventually the property will be developed and encouraged the neighbors to work with Mr. Cameron to facilitate the best outcome.

Vice Chair Hacker made a motion to forward a recommendation of denial to the City Council for the requested amendment to the Future Land Use Map, redesignating the properties located at 6271 south 900 east, from Low Density Residential to Office.

Seconded by Commissioner Richards. Roll Call Vote:

<u>A</u>	Patterson
<u>A</u>	Hacker
<u>A</u>	Milkavich
<u>A</u>	Pehrson
<u>A</u>	Richards
<u>A</u>	Henrie
<u>A</u>	Hristou

Motion passes: 7-0

Jarred Cameron - Project # 24-112 – 6271 South 900 East - Zone Map Amendment from R-1-8, - Low Density Single-Family Residential to G-O, General Office

Commissioner Pehrson made a motion to forward a recommendation of denial to the City Council for the Zone Map amendment of the property located at 6271 South 900 East from R-1-8 Low Density Single-Family Residential to G-O, General Office.

Seconded by Commissioner Milkavich. Roll Call Vote:

A Patterson
A Hacker
A Milkavich
A Pehrson
A Richards
A Henrie
A Hristou

Motion passes: 7-0

Lotus Development Group - Project # 24-092 - 825-865 East 4800 South – General Plan Future Land Use Map and Zoning Map Amendment from Office to High Density Residential

Adam Hughes and Jake Bird were present to represent the request. Zachary Smallwood presented the application for a General Plan Future Land Use Map Amendment and Zoning Map Amendment from Office to High Density Residential. Mr. Smallwood said that this is a change from the previous application that was heard on September 5, 2024. Mr. Smallwood explained that the applicants spoke with the neighbors and amended their request to remove the R-1-8 Single-Family Low-Density property from their application. This request is to change only the current office property to R-M-25, Residential Multi-Family High Density. He described what the G-O, General Office zoning allows for in its permitted and conditional uses. He explained the differences between the G-O and R-M-25 zones. Notices were sent to the surrounding affected properties, with no email comments being received. He said the request is in harmony with the General Plan. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council for both the General Plan Amendment and the Zoning Map Amendment.

Mr. Hughes and Mr. Bird approached the podium. Mr. Hughes addressed issues raised by the Planning Commission and by neighbors during the Planning Commission meeting on September 5, 2024. He addressed the concerns regarding traffic. He said they've commissioned a traffic study, which they will share with the neighbors. This shows a comparison of existing traffic to the results of a traffic generator of potential impacts from development. The results show that the traffic is anticipated to be reduced by half, due to the development. He then addressed the power infrastructure concerns regarding energy consumption. He said that the current office buildings are inefficient, consuming large amounts of energy. The proposed townhomes would be built to current energy-efficient standards. Mr. Bird met with the neighbors, including Rob Benedict, who commented during the September 5th meeting. They proposed a compromise to those in attendance that they would remove the R-1-8 property from the application for a rezone if the

neighbors would support the R-M-25 rezone. This was received favorably by the neighbors in attendance. He said the removing the R-1-8 property from the application guarantees that the property will not be subdivided. He described the request in detail and the number of units proposed for development on the number of acres being rezoned, which would be 22 units an acre on 2.93 acres.

Mr. Hughes and the commissioners had a discussion regarding the number of units and acreage. They also discussed that they are looking for a zoning, and not considering the specific project. Some commissioners had questions about the other acre that wasn't included, wondering why it couldn't be added at another zoning density. Mr. Hughes said the neighbors do not want any development along the R-1-8 zone. Mr. Smallwood added that the public comment supports this claim.

Chair Patterson asked Mr. Hughes to explain what occurred when they previously applied for R-M-15. He said that, two years ago, the City Council denied his request for R-M-15 zoning, due concerns neighbors had raised directly to the City Council. He added that they are trying to find a solution to dealing with an obsolete business park or it will become blighted. Commissioner Milkavich expressed frustration with the City Council's denial of the lower density request.

Commissioner Milkavich asked why Mr. Hughes couldn't just put single-family houses on that land. He said it's because he purchased a business park, not raw land that was ready to develop. He has the additional expense of demolishing the existing structures. He also said that the price he paid was for a multiple cash flow business, so it was more expensive than raw land. As a result, he needs to generate more revenue from the development of the land, which is accomplished by increasing the density of the development.

Chair Patterson opened the agenda item for public comment.

Mr. Smallwood read an email from Cindy Paulson. She said that she was invited by Lotus Company to attend a meeting to discuss the development of the land adjacent to her neighborhood. She said she did not attend, due to lack of sufficient notice. She said she's open to further discussion of proposed changes at a future date. She said she didn't appreciate her email address being given to Lotus Company. She feels the Planning Commission misrepresented the concerns of homeless in the area. She asked what will be done to preserve the mature trees and wildlife. She said Murray used to be known as Tree City USA, but so much development has ruined that. She wants to know how traffic will be affected on 4800 South and Van Winkle and how will issues with infrastructure be dealt with. She doesn't feel the current Murray City power grid will be able to handle the additional load of new homes, siting power outages occurring in the area, due to another new development. She said she intends on submitting a GRAMA request to find out the number of accidents that occur on the Vanwinkle Expressway between 4800 South and 6400 South, as well as to Murray Power to see how many power outages have occurred over the past few years. She believes that recent development of apartment complexes in the area have put a strain on the Murray City infrastructure. She said it's the Planning Commission's duty to preserve the quality of life for Murray City residents and not to cater to developers.

Mr. Rodgers read an email comment from Robert M. Benedict. He said that when this project first came before the Planning Commission, he argued against the request for higher density zoning in order to maintain a buffer. He said he is pleased that the R-1-8 area will remain single-family.

He feels the current plan is the best possible outcome for Lotus Company and for the neighborhood. He appreciates their sincerity in wanting to compromise with the neighborhood. He believes they are trying to preserve paradise.

Chair Patterson closed the public comment period for this agenda item.

Chair Patterson asked Mr. Smallwood to confirm that, because their request is only to rezone 2.93 acres, they are limited to 64 units. He said that's correct, unless they requested an incentive density bonus, which has not been done in Utah for decades because so much would be required to make that happen.

Chair Patterson commended the developer for their efforts to save the trees on the land and giving the neighborhood a buffer.

The Commissioners and Mr. Smallwood had a discussion about the future use of area with trees, stating that the owner could decide to cut them down later. Chair Patterson said they would still have to go through the process of coming before the Planning Commission to make changes.

The Commissioners and Mr. Smallwood discussed how well the proposed zoning fits the area. They talked about the zoning of other complexes nearby. They discussed property rights of neighbors who already live there not to have their land encroached upon by developers. For that reason, several commissioners said they would be in greater favor of R-M-15 instead of R-M-25.

The Commissioners and Mr. Smallwood discussed density of various zones and how they are calculated. They discussed the density of office complexes. They hoped that the next General Plan would update ordinances and make the process less complex.

Commissioner Henrie made a motion to forward a recommendation of approval to the City Council for the requested amendments to the Future Land Use Map, redesignating the property located 825- 865 East 4800 south, from Office to High-Density Residential.

Seconded by Commissioner Richards. Roll call vote:

<u>A</u>	Patterson
<u>A</u>	Hacker
<u>A</u>	Milkavich
<u>A</u>	Pehrson
<u>A</u>	Richards
<u>A</u>	Henrie
<u>A</u>	Hristou

Motion passes: 7-0

Lotus Development Group - Project # 24-093 - 825-865 East 4800 South
Zone Map Amendment from G-O, General Office to R-M-25, High Density Single-Family Residential

Commissioner Henrie made the motion for the Planning Commission to forward a recommendation of approval to the City Council for the requested amendment to the Zoning Map designation of the property located at 825-865 East 4800 South, from G-O, General Office, to R-M-25 Multi-Family High Density Residential.

Seconded by Commissioner Pehrson. Roll call vote:

A Patterson
A Hacker
A Milkavich
A Pehrson
A Richards
A Henrie
A Hristou

Motion passes: 7-0

LAND USE TEXT AMENDMENT(S) – LEGISLATIVE ACTION

Land Use Ordinance Text Amendment - Project # 24-100 - Sections 17.76.020 & 17.84.060 and
Enacting 17.76.190 - Amending Language Regarding Permitted and Conditional Uses and
Enacting Regulations Regarding Short-term Rentals

Zachary Smallwood presented the request from staff to amend sections 17.76.020 & 17.84.06, related to permitted and conditional uses and the creation of section 17.76.190 residential short-term rentals in the Murray City Land Use Ordinance. Mr. Smallwood said that the City Council instituted a temporary land use regulation, also known as a moratorium on short-term rentals because of a loophole found in the above referenced sections of the land use ordinance, which expires in January 2025, per Utah State Statute. Staff is asking the Planning Commission for a recommendation to forward to the City Council. He said that if the Planning Commission does not move forward with a recommendation, they will need to provide a date that the item will be heard again. He provided a definition of a short-term rental, being a dwelling or portion thereof available for accommodations/lodging for compensation provided for a period of less than thirty days. He indicated that the proposed ordinance defines three types of short-term rentals, which include hosted, unhosted and dedicated vacation rental. These proposed regulations disallow unhosted and dedicated vacation rentals. He outlined the parking requirements in the proposed regulations.

Mr. Smallwood and the commissioners discussed the parking requirements. The commissioners wanted to understand how the required number of parking spaces is determined. Mr. Smallwood said that owners are only allowed to rent to one party, but the number of spaces is determined by the number of bedrooms.

Chair Patterson asked if staff has looked at other cities short-term rental requirements. Mr. Smallwood said that many cities don't regulate them. The premise is that since there's no

ordinance, there's no enforcement. He said that he modeled the ordinance after best practices and finding what staff could of other cities.

Some commissioners felt that the proposed ordinance was too restrictive for residents and onerous for staff to enforce. Mr. Smallwood said this is a baseline starting point. The City Council will have staff provide a status report in one year. Changes may be made at that time.

Commissioner Hristou asked who will be enforcing the new regulations. Mr. Smallwood said the responsibility falls on the Community and Economic Development Department. He said they've already purchased tracking software and anticipate the need for budget opening to pay for additional staff.

Chair Patterson asked how many short-term rentals that staff have identified. Mr. Smallwood said about 150 were in operation as of September 2024. He said this information was provided in a demo of the newly purchased software. He pointed out that there are about 150 in existence and will be grandfathered in and will not have to comply with the new regulations, this is the determination from legal counsel.

Commissioner Milkovich pointed out that there are two sides to the argument of short-term rentals. There are pros and cons. She wanted to make sure they are addressing the negative aspects, especially for neighborhoods. Chair Patterson said she feels they certainly should be regulated to mitigate the negative aspects, but she does feel the currently proposed regulations are too punitive. Although she agrees there should be regulation, she doesn't feel there needs to be an ordinance right now. Mr. Smallwood said that the city needs to start somewhere and improve upon the initial regulations.

The commissioners and Mr. Smallwood discussed the approach of making the code stricter to start with. Some commissioners felt it shouldn't be as strict at first. They felt it should only get stricter over time, as needed. Mr. Hacker pointed out that if they start out with loose regulations, it's too difficult to reign it in. Mr. Smallwood said that it's also the way the City Council wants to start.

Mr. Smallwood discussed the aspect of code enforcement of short-term rentals. He mentioned the penalties of operating without a permit, which could lead to a class C misdemeanor.

The commissioners and Mr. Smallwood discussed how the structures of fines would work and if the fines would begin when the business activity began or when the activity was discovered. Mr. Richardson clarified that the fines could start from the date that prosecutor could prove the start of the short-term rentals.

Mr. Smallwood briefly described the process for operating a short-term rental. The process will involve staff-level approval, where the applicant will need to submit a site plan, floor plan, parking plan, proof of owner occupancy, proof of non-conflict with HOA's and a business license. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council.

Chair Patterson opened the agenda item for public comment. Seeing none, the public comment period was closed.

Commissioner Pehrson expressed that the proposed code is overly complicated and that applicants should not have to submit so much documentation as part of the application process. He said it adds an unnecessary burden on the applicant and on the city to manage and enforce that process.

Commissioner Henrie said he doesn't see why an unhosted sharing is an issue. He also agrees that it will be overregulated and restrictive. He feels the code should start out being less strict and then only become stricter as needed. Mr. Smallwood said the issue is that, when a stricter code is imposed, everything prior to that is grandfathered in and allowed to continue. Commissioner Henrie said that he feels that's an acceptable way to handle it and argued that residents should be allowed to do what they want with their property, so long as it isn't a nuisance or isn't violating laws. Commissioner Milkavich said that the ordinance is trying to address potential nuisances. They discussed the aspects of the code that address issues with unhosted properties.

Commissioner Hristou asked Mr. Richardson about the challenges that other cities have seen. Mr. Richardson said there's not a large amount of case law or history to draw from, since short term rentals are relatively new. He said the issue revolves around balancing private property rights with public interest.

Commissioner Pehrson said what he feels is too restrictive is that the rental needs to be hosted. He clarified that he doesn't want to make the code weaker, but he doesn't want it to be burdensome on staff to enforce.

Mr. Smallwood said he anticipates that the code will ease up in the future, because it is quite onerous. There are many unknown factors at this point. He doesn't disagree this is a lot for staff to manage but knows it will improve over time. He said he can report back to them in a year to revisit how the process is going. He feels it will be easier to know what to change once they have the year's data to work with. He also pointed out that they need to push forward what's proposed and clean up later, because they are up against a tight deadline.

The commissioners discussed the best way to modify the proposal to meet the deadline. They want to avoid having the City Council deny the proposal.

Commissioner Milkavich said it will be chaotic if they don't have a code in place by January. They must decide what they can live with for now to be able to move forward. They discussed striking "unhosted," but Mr. Smallwood told them that the council feels very strongly about that aspect and will not allow for unhosted rentals.

Commissioner Pehrson suggested removing requirement (9) from the ordinance because it's already required as part of the business licensing process. Commissioner Pehrson also suggested omitting (2)(e). Mr. Smallwood said he would be concerned about the impact of getting rid of it altogether.

Commissioner Hristou said that he agrees they should make the code as simple as possible. He is just concerned with cutting items without fully understanding the downstream affect.

Commissioner Pehrson asked Mr. Smallwood to share with the City Council the conversations the commissioners had regarding the restrictiveness of the proposed code.

Some of the commissioners shared their concerns that it feels like they must forward a recommendation without any amendments because they feel that the City Council does not want to take those amendments into consideration. They just feel obligated to forward the recommendation as a form of going through the motions.

Commissioner Henrie made a motion to strike the sentence “allowing short-term rentals is intended to provide economic relief to existing property owners who might otherwise be forced to leave a neighborhood, thus promoting preserving stable and affordable housing in the city.” He feels that it's irrelevant.

The motion failed for a second.

Commissioner Hristou made a motion to recommend approval to the City Council for the request to amend the Murray City Land Use ordinance, amending sections 17.76.020 & 17.84.060 and enacting 17.76.190 regarding residential short-term rentals, as presented in the staff report.

Seconded by Commissioner Milkavich. Roll call vote:

<u>N</u>	Patterson
<u>N</u>	Hacker
<u>A</u>	Milkavich
<u>A</u>	Pehrson
<u>A</u>	Richards
<u>N</u>	Henrie
<u>A</u>	Hristou

Motion passes: 4-3

ANNOUNCEMENTS AND QUESTIONS

The next scheduled meeting will be held on Thursday, November 7th, 2024, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

ADJOURNMENT

Commissioner Pehrson made a motion to adjourn the meeting at 10:07 p.m.



Philip J. Markham, Director
Community & Economic Development Department

~DRAFT~

Minutes of the Planning Commission meeting held on Thursday, November 7TH, 2024, at 6:30 p.m. in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

A recording of this meeting is available for viewing at <http://www.murray.utah.gov> or in the Community and Economic Development office located at 10 East 4800 South, Suite 260.

The public was able to view the meeting via the live stream at <http://www.murraycitylive.com> or <https://www.facebook.com/Murraycityutah/>. Anyone who wanted to make a comment on an agenda item was able to submit comments via email at planningcommission@murray.utah.gov.

Present: Maren Patterson, Chair
Ned Hacker, Vice Chair
Lisa Milkavich
Michael Henrie
Pete Hristou
Zachary Smallwood, Planning Division Manager
Ruth Ruach, Planner I
Mark Richardson, Deputy Attorney
Members of the Public (per sign-in sheet)

Excused: Michael Richards
Jake Pehrson

The Staff Review meeting was held from 6:00 p.m. to 6:30 p.m. The Planning Commission members briefly reviewed the applications on the agenda. An audio recording is available at the Murray City Community and Economic Development Department Office.

CALL MEETING TO ORDER

Chair Patterson called the meeting to order at 6:32 p.m.

BUSINESS ITEMS

APPROVAL OF MINUTES

There were no minutes to be approved for this meeting.

CONFLICT(S) OF INTEREST

There were no conflicts of interest for this meeting.

APPROVAL OF FINDINGS OF FACT

Vice Chair Hacker made a motion to approve the findings of fact for Soccer House LLC Conditional Use Permit. Seconded by Commissioner Henrie. A voice vote was taken with all in favor.

APPROVAL OF PLANNING COMMISSION MEETING DATES FOR 2025

Commissioner Henrie made a motion to adopt the Planning Commission meeting dates for 2025. Seconded by Vice Chair Hacker. A voice vote was taken with all in favor.

CONDITIONAL USE PERMIT(S) – ADMINISTRATIVE ACTION

Revision Theory Scar Labs - Project # 24-115784 South 900 East #1 - Conditional Use Permit for Tattoo Use

Chandler Mesarch was present to represent the request. Ruth Ruach presented the application requesting conditional use permit approval to allow a paramedical tattoo business within the C-D Zone on the property located at 5784 South 900 East #1. Ms. Ruach showed the site plan for the business, which included a floor plan for the building. She said there will be no major changes to the unit. The site plan showed parking access and parking stalls. Notices were sent to affected entities. No comments have been received. Staff recommends that the Planning Commission approve a conditional use permit to allow the operation of a paramedical tattoo business at this location subject to the following conditions.

Commissioner Milkavich questioned the property acreage listed on the application versus the application. Mr. Smallwood said it was due to a typo and will be corrected.

Commissioner Milkavich said she noticed a difference in square footage listed on the application versus the packet. Mr. Smallwood said that is due to what the application provides in the application being different than what staff calculate while measuring. Staff base their measurement off the net usable space.

The commissioners and Mr. Smallwood discussed how the number of required parking spaces for beauty and barber shops are calculated. It is based on the net square footage of the entire building, which can result in an access of parking spaces because most salons book one-on-one appointments in advance and don't need a lot of space for walk-in customers.

Ms. Mesarch approached the podium. Chair Patterson asked if she had read and could comply with the conditions. She said that she could.

Ms. Mesarch discussed the differences in licensing requirements with traditional versus paramedical tattooing.

Chair Patterson opened the agenda item for public comment. Seeing none, the public comment period was closed.

Chair Patterson closed the public comment period for this agenda item.

Commissioner Hacker made a motion that the Planning Commission approve a Conditional Use Permit to allow a paramedical tattoo business at the property addressed 5784 South 900 East #1, subject to the following conditions:

1. The applicant shall obtain a Murray City Business License prior to beginning operations at this location.
2. The project shall comply with all applicable building and fire code standards.
3. The applicant shall obtain permits for any new attached or detached signs proposed for the business.

Seconded by Commissioner Hristou. Roll call vote:

A Patterson
A Hacker
A Milkavich
A Henrie
A Hristou

Motion passes: 5-0

LAND USE TEXT AMENDMENT(S) – LEGISLATIVE ACTION

Land Use Ordinance Text Amendment - Project # 24-119 - Section 17.12.070 - Amending the Amount of Planning Commission Compensation

Zachary Smallwood presented a text amendment to amend the code to allow for increasing the compensation of the Planning Commission. He provided context and history regarding the Planning Commission compensation. He said that there is currently an excess of funds in the account for Planning Commission Compensation. The proposed increase would be from \$40 per meeting to \$50 per meeting. These fees come out of the General Fund. Staff finds the proposed text amendment to compensate Planning Commissioners with reimbursement for expense incurred in the performance of their official duties is reasonable, and the proposed determination by the Office of the Mayor with approval by the City Council during the annual budget process is in harmony with the current practices for establishing other rates and fees of the city. Staff recommends that the Planning Commission forward a recommendation of approval to the City Council for the request to update Section 17.12.070 of the Murray City Land Use ordinance.

The commissioners and Mr. Smallwood had a discussion regarding the amount of the compensation, stating that it falls in the mid-range for what most cities in Utah pay their Planning Commissioners. They discussed what the compensation is intended to cover, which includes gas for site visits, premeeting and meeting attendance, packet review, and training. They discussed that the amount is roughly \$11 to \$12 per hour on average.

Chair Patterson opened the public comment period for this agenda item. Seeing none, the public comment period was closed.

Commissioner Milkavich made a motion to forward a recommendation for approval to the City Council for the request to update Chapter 17, point 12.070, for the planning commission compensation of the Murray City Plan land use ordinance as presented here.

Seconded by Henrie. Roll call vote:

A Patterson
A Hacker
A Milkavich
A Henrie
A Hristou

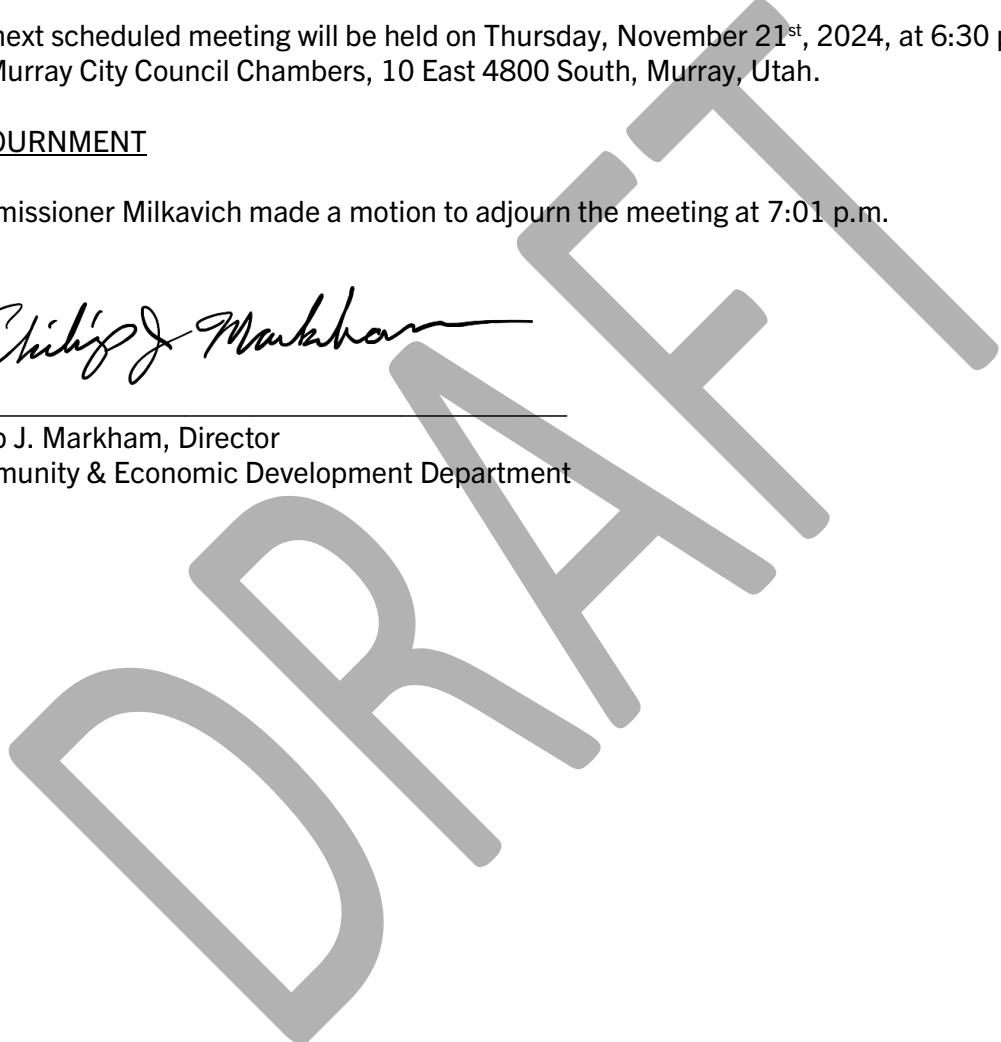
Motion passes: 5-0

ANNOUNCEMENTS AND QUESTIONS

The next scheduled meeting will be held on Thursday, November 21st, 2024, at 6:30 p.m. MST in the Murray City Council Chambers, 10 East 4800 South, Murray, Utah.

ADJOURNMENT

Commissioner Milkavich made a motion to adjourn the meeting at 7:01 p.m.



Philip J. Markham

Philip J. Markham, Director
Community & Economic Development Department

MURRAY CITY PLANNING COMMISSION FINDINGS OF FACT AND CONCLUSIONS

PROJECT NAME: Crockett Auto Sales

PROJECT NUMBER: 24-120

APPLICANT: James Crockett

APPLICATION TYPE: Conditional Use Permit

I. REQUEST:

The applicant is requesting Conditional Use Permit approval to allow an auto sales business within the M-G Zone on the property located at 5226 South Commerce Drive #3.

II. MUNICIPAL CODE AUTHORITY:

Section 17.152.030 of the Murray City Land Use Ordinance allows auto sales businesses (LU #5511) within the M-G zoning district subject to Conditional Use Permit approval.

III. APPEAL PROCEDURE:

Municipal Code Section 17.16.030 provides details for requesting an appeal of the Planning Commission's decision on a land use application that is heard by the Hearing Officer. An application for appeal must be presented within 10 calendar days after the approval of these findings of fact.

IV. SUMMARY OF EVIDENCE:

- A.** The basic facts and criteria regarding this application are contained in the staff report, which is attached as **Exhibit A** and is incorporated herein.
- B.** The minutes of the public meeting held by the Planning Commission on November 21, 2024 which are attached as **Exhibit B** summarize the oral testimony presented and are hereby incorporated herein.

V. FINDINGS OF FACT:

Based upon the information presented and oral testimony given the planning commission found that the request meets the standards contained in Section 17.56.060 based on the findings below:

1. The proposed use for an Auto Sales Business (LU #5511), is allowed in the M-G Manufacturing General Zoning District subject to Conditional Use Permit approval.
2. With conditions as outlined in the staff report, the proposed use and

property will comply with the standards of the Murray City Land Use Ordinance.

3. The proposed use is not contrary to the goals and objectives of the Murray City General Plan in this area..

VI. DECISION AND SUMMARY

The Planning Commission **APPROVED** the request for an Auto Sales Business on the property. The vote was 7-0 with Commissioners Richards, Milkavich, Pehrson, Henrie, Hristou, Hacker and Patterson in favor and none opposed. The approval is contingent on the following conditions:

1. The applicant shall obtain a Murray City Business License prior to beginning operations at this location.
2. The property owner shall restripe the parking area for this property.
3. The property owner shall install additional landscape elements to meet the requirements of Section 17.68 of the Murray City Land Use Ordinance as outlined in the Staff Report.
4. The project shall comply with all applicable building and fire code standards and obtain any required permits.
5. The applicant shall obtain permits for any new attached or detached signs proposed for the business.
6. The applicant shall maintain clear, appropriate vehicular access to the overhead doors on the building at all times.
7. The applicant shall maintain a Utah Motor Vehicle Dealer's License.

FINDINGS OF FACT APPROVED BY THE MURRAY PLANNING COMMISSION
THIS 5th DAY OF December, 2024.

Maren Patterson, Chair
Murray City Planning Commission

MURRAY CITY PLANNING COMMISSION FINDINGS OF FACT AND CONCLUSIONS

PROJECT NAME: Murray Fields Tomehome PUD

PROJECT NUMBER: 24-121

APPLICANT: Justin Lang

APPLICATION TYPE: Planned Unit Development

I. REQUEST:

The applicant is requesting Subdivision approval to allow for a 36 Unit Townhome development in the R-M-15 Zone located at 770 & 780 West 5300 South.

II. MUNICIPAL CODE AUTHORITY:

Section 17.60.020 of the Murray City Land Use Ordinance states that “Planned unit developments may be allowed as conditional uses in all zoning districts by the planning commission if the planned unit development fully meets the underlying zoning district use limitations in which it is to be located. Any approved planned unit development shall consist of a PUD plat approved by the planning commission and signed by its chairman. A conditional use permit for a planned unit development shall not be granted unless the planned unit development meets the use limitations, density, and other limitations of the zoning district in which it is to be located, except as such requirements as may be modified as provided by this chapter or by zoning district regulations.”.

III. APPEAL PROCEDURE:

Municipal Code Section 17.16.030 provides details for requesting an appeal of the Planning Commission’s decision on a land use application that is heard by the Hearing Officer. An application for appeal must be presented within 10 calendar days after the approval of these findings of fact.

IV. SUMMARY OF EVIDENCE:

- A.** The basic facts and criteria regarding this application are contained in the staff report, which is attached as **Exhibit A** and is incorporated herein.
- B.** The minutes of the public meeting held by the Planning Commission on November 21, 2024 which are attached as **Exhibit B** summarize the oral testimony presented and are hereby incorporated herein.

V. FINDINGS OF FACT:

Based upon the information presented and oral testimony given the planning commission

found that the request meets the standards contained in Section 17.56.060 based on the findings below:

1. With conditions, the proposed Planned Unit Development complies with the standards of the Murray City Subdivision Ordinance.
2. The proposed lots comply with the development standards for properties found in Chapters 17.120 and 17.60 of the Murray City Land Use Ordinance.
3. The proposed subdivision is in harmony with the purposes of the R-M-15 Zone, representing appropriate residential development.
4. The proposed Planned Unit Development is in harmony with the purpose and intent of the Murray City General Plan, providing additional opportunities for appropriate residential development in the area.

VI. DECISION AND SUMMARY

The Planning Commission **APPROVED** the request for a Planned Unit Development on the property. The vote was 7-0 with Commissioners Richards, Milkavich, Pehrson, Henrie, Hristou, Hacker and Patterson in favor and none opposed. The approval is contingent on the following conditions:

1. 1. The applicant shall meet all requirements of the Murray City Engineer, including the following:
 - a. Meet City subdivision and requirements and standards – City Code Title 16.
 - b. The current plat does not meet City or County standards for recording.
 - c. Address all engineering review comments prior to printing the plat to mylar.
 - d. Provide a copy of the HOA CC&R's and declaration.
 - e. Provide grading, drainage and utility plan and profile drawings – City Code Chapter 16.08
 - f. Meet City storm drainage requirements, on-site detention, and retention of the 80th percentile storm is required. Implement Low Impact Development (LID) practices – Subdivision Application & City Code 13.52.050.
 - g. Provide PUE's on all common areas – City Code Chapter 16.16.100.
 - h. Obtain official UDOT approval and all required permits for street connection to 5400 South. The subdivision plat will not be recorded until access has been fully permitted by UDOT.
 - i. Provide a site geotechnical study and follow recommendations. The geotechnical study should provide LID recommendations and infiltration rates for the 80th percentile retention – Subdivision Application.
 - j. Provide any required easements and vacate any unused easements within the proposed buildable areas and street - City Code Chapter 16.16.100.
 - k. Remove any abandoned irrigation pipe and structures – City Code Chapter 16.16.300.
 - l. Provide subdivision street lighting - City Code 16.16.310.
 - m. Provide an improvement bond prior to recording the subdivision plat (5400 South improvements) – City Code Chapter 16.16.220
 - n. Develop a site SWPPP and obtain a City Land Disturbance Permit prior to beginning any site grading and construction work – City Code Chapter 15.52.030.

- n. Obtain a City Excavation Permit for work within City roadways – City Code Chapter 12.16.020.
- o. Obtain UDOT Encroachment Permit for grading and construction work within the 5400 South right-of-way – State Code.

2. The subdivision shall meet the requirements of the Murray City Fire Department including the width of the access drives and emergency gate access requirements.
3. The developer shall meet all Murray City Water Division requirements.
4. The developer shall meet all Murray City Wastewater Division requirements.
5. The developer shall meet all Murray City Power Department requirements and meet to discuss planning the new power service.
6. The applicant shall provide a copy of the recorded CC&Rs to the Planning Division.
7. All units within the subdivision shall comply with the requirements of the R-M-15 Zone as outlined in Chapter 17.120, Chapter 17.62, Condominiums, and Planned Unit Development as outlined in Chapter 17.60 of the Murray City Land Use Ordinance.
8. Application for a Final Subdivision Review must be made within a one-year time period from Preliminary Subdivision, or the preliminary approval will be null and void. The subdivision plat shall be recorded within one year of the final approval by Murray City or the subdivision plat approval shall be null and void.

FINDINGS OF FACT APPROVED BY THE MURRAY PLANNING COMMISSION
THIS 5th DAY OF December, 2024.

Maren Patterson, Chair
Murray City Planning Commission

MURRAY CITY PLANNING COMMISSION FINDINGS OF FACT AND CONCLUSIONS

PROJECT NAME: Murray Fields Townhomes Subdivision

PROJECT NUMBER: 24-122

APPLICANT: Justin Lang

APPLICATION TYPE: Design Review

I. REQUEST:

The applicant is requesting Subdivision approval to allow for a 36 Unit Townhome development in the R-M-15 Zone located at 770 & 780 West 5300 South.

II. MUNICIPAL CODE AUTHORITY:

Section 16.04.040(F) and 16.12.070 of the Murray City Land Use Ordinance require the subdivision of property to be reviewed and approved by the Murray City Planning Commission as the Land Use Authority.

III. APPEAL PROCEDURE:

Municipal Code Section 17.16.030 provides details for requesting an appeal of the Planning Commission's decision on a land use application that is heard by the Hearing Officer. An application for appeal must be presented within 10 calendar days after the approval of these findings of fact.

IV. SUMMARY OF EVIDENCE:

- A.** The basic facts and criteria regarding this application are contained in the staff report, which is attached as **Exhibit A** and is incorporated herein.
- B.** The minutes of the public meeting held by the Planning Commission on November 21, 2024 which are attached as **Exhibit B** summarize the oral testimony presented and are hereby incorporated herein.

V. FINDINGS OF FACT:

Based upon the information presented and oral testimony given the planning commission found that the request meets the standards contained in Section 17.56.060 based on the findings below:

1. With conditions, the proposed subdivision complies with the standards of the Murray City Subdivision Ordinance.
2. The proposed lots comply with the development standards for properties found in Chapters 17.120 and 17.60 of the Murray City Land Use Ordinance.

3. The proposed subdivision is in harmony with the purposes of the R-M-15 Zone, representing appropriate residential development.
4. The proposed subdivision is in harmony with the purpose and intent of the Murray City General Plan, providing additional opportunities for appropriate residential development in the area.

VI. DECISION AND SUMMARY

The Planning Commission **APPROVED** the request for a Subdivision on the property. The vote was 7-0 with Commissioners Richards, Milkavich, Pehrson, Henrie, Hristou, Hacker and Patterson in favor and none opposed. The approval is contingent on the following conditions:

1. The applicant shall meet all requirements of the Murray City Engineer, including the following:
 - a. Meet City subdivision and requirements and standards – City Code Title 16. The current plat does not meet City or County standards for recording.
 - b. Address all engineering review comments prior to printing the plat to mylar.
 - c. Provide a copy of the HOA CC&R's and declaration.
 - d. Provide grading, drainage and utility plan and profile drawings – City Code Chapter 16.08
 - e. Meet City storm drainage requirements, on-site detention, and retention of the 80th percentile storm is required. Implement Low Impact Development (LID) practices – Subdivision Application & City Code 13.52.050.
 - f. Provide PUE's on all common areas – City Code Chapter 16.16.100.
 - g. Obtain official UDOT approval and all required permits for street connection to 5400 South. The subdivision plat will not be recorded until access has been fully permitted by UDOT.
 - h. Provide a site geotechnical study and follow recommendations. The geotechnical study should provide LID recommendations and infiltration rates for the 80th percentile retention – Subdivision Application.
 - i. Provide any required easements and vacate any unused easements within the proposed buildable areas and street - City Code Chapter 16.16.100.
 - j. Remove any abandoned irrigation pipe and structures – City Code Chapter 16.16.300.
 - k. Provide subdivision street lighting - City Code 16.16.310.
 - l. Provide an improvement bond prior to recording the subdivision plat (5400 South improvements) – City Code Chapter 16.16.220
 - m. Develop a site SWPPP and obtain a City Land Disturbance Permit prior to beginning any site grading and construction work – City Code Chapter 15.52.030.
 - n. Obtain a City Excavation Permit for work within City roadways – City Code Chapter 12.16.020.
 - o. Obtain UDOT Encroachment Permit for grading and construction work within the 5400 South right-of-way – State Code.
2. The subdivision shall meet the requirements of the Murray City Fire Department including the width of the access drives and emergency gate access requirements.

3. The developer shall meet all Murray City Water Division requirements.
4. The developer shall meet all Murray City Wastewater Division requirements.
5. The developer shall meet all Murray City Power Department requirements and meet to discuss planning the new power service.
6. The applicant shall provide a copy of the recorded CC&Rs to the Planning Division.
7. All units within the subdivision shall comply with the requirements of the R-M-15 Zone as outlined in Chapter 17.120, Chapter 17.62, Condominiums, and Planned Unit Development as outlined in Chapter 17.60 of the Murray City Land Use Ordinance.
8. Application for a Final Subdivision Review must be made within a one-year time period from Preliminary Subdivision, or the preliminary approval will be null and void. The subdivision plat shall be recorded within one year of the final approval by Murray City or the subdivision plat approval shall be null and void.

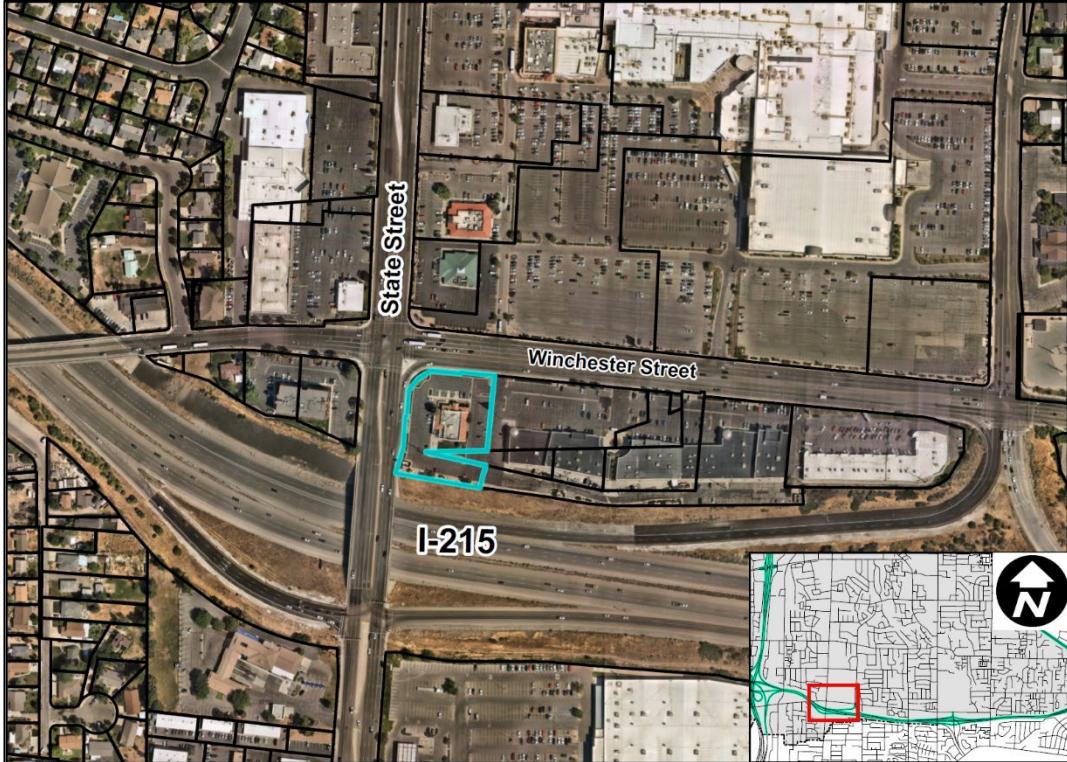
FINDINGS OF FACT APPROVED BY THE MURRAY PLANNING COMMISSION
THIS 5th DAY OF December, 2024.

Maren Patterson, Chair
Murray City Planning Commission



AGENDA ITEM # 4

ITEM TYPE:	Site Plan Approval for a Restaurant		
ADDRESS:	102 East Winchester Street	MEETING DATE:	December 5 th , 2024
APPLICANT:	Lazy Dogs Restaurants LLC	STAFF:	David Rodgers, Senior Planner
PARCEL ID:	22-19-530-280	PROJECT NUMBER:	24-123
ZONE:	C-D, Commercial Development		
SIZE:	1.45-acre site, 9,950 Sq. ft. building		
REQUEST:	The applicant is requesting site plan approval for construction of a new 8,603 sq. ft. free standing restaurant with a 1,347 sq. ft. patio.		



I. LAND USE ORDINANCE

Sections 17.54.020 and 17.160.070 of the Murray City Land Use Ordinance require new construction and significant modifications of existing buildings and sites in the C-D Zone to be reviewed and approved by the Planning Commission.

II. BACKGROUND

Project Location

The proposed building will be built on the east side of State Street and to the south of Winchester Street. The site is currently a Macaroni Grill which will be torn down and replaced with the new restaurant.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Commercial	C-D
South	I-215 Right of Way	N/A
East	Commercial	C-D
West	Commercial	C-D

Project Description & Review

Demolition

The construction of the new restaurant building will require the demolition of the existing Macaroni Grill.

Access & Circulation

This site is located near the intersection of State Street and Winchester Street, just north of the I-215 Interchange. This property is located at the end of a strip of different retail uses and has an access from both the property on the east and off Winchester on the northeast end of the site. The new building will keep the access that is currently there while ensuring adequate circulation around the site. Staff does not have concerns regarding access or circulation.

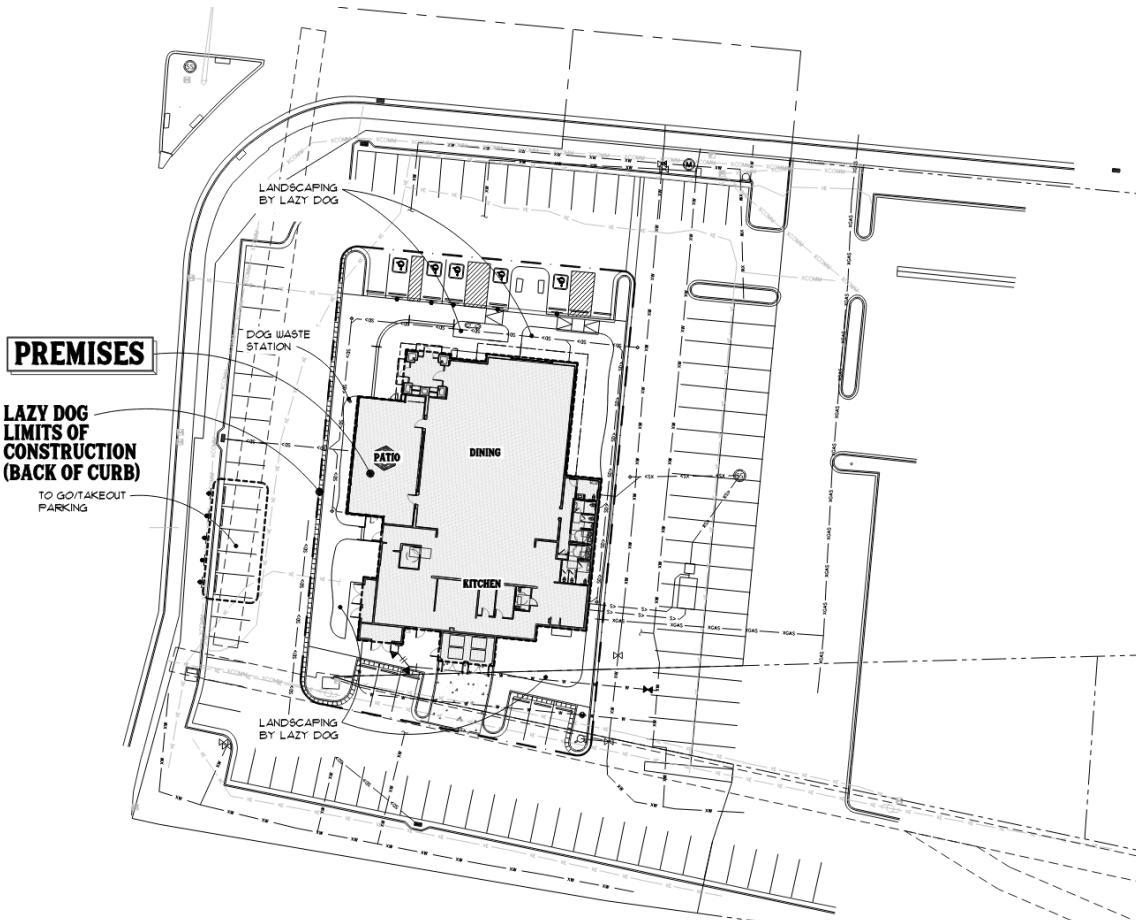


Figure 1: Site Layout and Circulation

Parking

Restaurant parking requires one parking space for each three seats. The restaurant has provided a seating count and has indicated that there will be 211 interior seats and sixty (60) patio seats, with a combined total of 271 seats. With the requirement of three seats per stall, the amount of required parking is ninety-one (91) stalls. The applicant has provided 124 on-site parking stalls. Staff has no concerns with the parking as proposed.

	Required	Provided	Total on-site
Restaurant	1 space per 3 seats (271 seats) would equal 91 stalls.	124 (including 5 disabled stalls)	124 stalls

Signage

Land Use Code 17.48.140, Signs, specifies the details for mounted wall signs which will require a building permit prior to being installed. The site shows four mounted wall signs, one on each elevation of the building, which meet sign standards per Section 17.48.140.I. The applicant also includes changes to an existing pedestal sign that will replace the current face with the

applicant's logo. While the pedestal sign is currently non-conforming, content changes are permitted to a previously approved sign per City Code section 17.48.100(B). Staff will perform final review of signage during building permit process.

Landscaping

The applicant will need to provide landscaping plans meeting the requirements of Chapter 17.68 of the Murray Land Use Ordinance. Landscaping requirements have minimums for total number of trees and shrubs based on the linear feet of street frontage. There is also a minimum 10% landscaping coverage for the site (see chart below).

Landscaping (State Street Frontage)	Required	Proposed
State Street: Approximately 250' of Street Frontage Ten feet (10') of landscaping shall be required along all frontage areas not occupied by drive access.	8 Trees required. 13 5-gallon shrubs required. 25 10-gallon shrubs required	None proposed, please provide existing landscaping. None proposed, please provide existing landscaping. None proposed, please provide existing landscaping.
Approved Landscaping must cover a minimum of ten percent (10%) of the development site	10% of total site (63,162 sq. ft.) = 6,316 sq. ft.	3,123 sq. ft. without the frontages. 7,302 sq. ft. with frontages

Landscaping (Winchester Street Frontage)	Required	Proposed
Winchester Street: Approximately 230' of Street Frontage (Excludes thirty-foot (30') drive access). Ten feet (10') of landscaping shall be required along all frontage areas not occupied by drive access.	7 Trees required. 12 5-gallon shrubs required. 23 10-gallon shrubs required	None proposed, please provide existing landscaping. None proposed, please provide existing landscaping. None proposed, please provide existing landscaping.
Approved Landscaping must cover a minimum of ten percent (10%) of the development site	10% of total site (63162 sq. ft.) = 6316.2 sq. ft.	3,123 sq. ft. without the frontages. 7,302 sq. ft. with frontages

City Staff would like to see pedestrian improvements in this area. Staff requests that the applicant work with the Planning and Engineering departments about potentially relocating

the sidewalk as part of implementing the required landscaping to increase the pedestrian comfort in this area.

Elevations

Elevations of the building are shown below and have been provided as part of the staff report. The applicant has proposed a combination of materials including the use of earth tone stucco, stone veneer, wood siding, black metal trim, and glass. Staff does not have any concerns regarding the materials of the building



Figure 2: New building, rendering

III. CITY DEPARTMENT REVIEW

A Planning Review Meeting was held on November 19th, 2024, where the proposed restaurant was reviewed and discussed by Murray City department staff. The following comments have been provided by the departments that were in attendance:

- The Murray City Engineer provided the following comments:
 - Meet City storm drain requirements, on-site detention/retention and water quality treatment is required - City Code 13.52.050.
 - Replace any damaged sidewalk along the State Street and Winchester Street frontages - City Code Chapter 12.12.050.
 - Replace any damaged curb and gutter along the Winchester Street frontage - City Code Chapter 12.12.050.
 - Develop a site SWPPP and obtain a City Land Disturbance Permit prior to beginning site work - City Code Chapter 15.52.030.
 - Obtain a City Excavation Permit for work within City rights-of-way - City Code Chapter 12.16.020
- The Murray City Building Official recommends approval with the condition that the applicant obtain a building permit for all construction work on site.

- The Murray City Fire Department provided the following comments:
 - Fire alarm and sprinkler plans as per IFC and NFPA 13 72. Hood suppression system plans and CO2 monitoring system. Knox box and locking fdc required. Standard: Please use International Fire Code IFC 2021 and applicable National Fire Protection Association-NFPA as references.
- The Murray City Police Department recommends approval with no additional comments.
- The Murray City Water Division provided the following comments:
 - Current water service to the building is 1"1/2 and the fire line is 4". Call out abandoning each at the water main if you do not intend to reuse them.
 - We are transitioning to AMI. Larger meter lids will need a recessed hole to allow us to install AMI equipment. We are in the process of rewriting our specifications and requirements. Ensure the water division approves submittal for meter lids.
 - Water meter must be installed in a landscaped area. Cannot be installed in a hardscape.
 - All waterwork must follow Murray City Water Specification and Requirements <https://murray.utah.gov/DocumentCenter/View/13884/Spec-Book-2023-Updated-4142023?bidId=>
- The Murray City Wastewater Division provided the following comments:
 - Utility sheet C5.0 sanitary lateral line and grease line must tie into sampling manhole per Murray Wastewater Specification.
 - Grease trap must be 1000 gallon minimum. Need to see plumbing and grease trap sizing for calculations.
 - Clean outs must be located at the building on both the GW line and SS line on sheet C5.0
 - Cleanouts are required at every 45-degree bend. Please add clean outs to every 45-degree bend.
 - Both the GW line and VBG line should tie into Grease trap.
 - Note on utility sheet all work must meet Murray Wastewater Specification.
 - Need to see interior plumbing plans in order to conduct a full review.
 - Include all related sewer detail specifications directly from Murray Wastewater Specification book at the link below.
 - <https://www.murray.utah.gov/DocumentCenter/View/14929/Revised-Wastewater-Spec-Book-2023>
- The Murray City Power Department provided the following comments:

- Secondary conductor and conduit provided and installed by contractor per NEC requirement.
- Existing transformer may need to be upgraded due to the increase in service size.
- The developer must meet all Murray City Power Department requirements and the current NESC/NEC code and provide the required easement/ safety clearance(s) for equipment and Power lines.
- Contractor to contact John Galanis 801-264-2723 for metering placement and requirements.

The preceding comments are addressed as conditions of approval in the final section of this report.

IV. PUBLIC INPUT

Six (6) notices were mailed to property owners within a 300' radius and to affected entities. As of the writing of this report, no comments or questions have been received in response.

V. FINDINGS

Based on the analysis of the application, materials submitted, site visits, and a survey of the surrounding area, Staff concludes the following:

1. The proposed use is consistent with the goals and objectives of the Murray City General Plan.
2. With condition, the proposed plans meet the requirements of the Murray City Land Use Ordinance.

VI. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission GRANT Site Plan approval for the proposed Lazy Dog Restaurant for the property addressed 102 East Winchester Street** subject to the following conditions:

1. The applicant shall meet Murray City Engineering requirements including the following:
 - (a) Meet City storm drain requirements, on-site detention/retention and water quality treatment is require - City Code 13.52.050.
 - (b) Replace any damaged sidewalk along the State Street and Winchester Street frontages - City Code Chapter 12.12.050.
 - (c) Replace any damaged curb and gutter along the Winchester Street frontage - City Code Chapter 12.12.050.
 - (d) Develop a site SWPPP and obtain a City Land Disturbance Permit prior to beginning site work - City Code Chapter 15.52.030.

- (e) Obtain a City Excavation Permit for work within City rights-of-way – City Code Chapter 12.16.020.
- 2. The applicant shall meet all Fire Department requirements.
- 3. The applicant shall meet all Water Division requirements.
- 4. The applicant shall meet all Wastewater Division requirements.
- 5. The applicant shall meet all Power Department requirements.
- 6. The applicant shall obtain a Murray City Business License prior to conducting business at this location.
- 7. The applicant shall meet all landscaping requirements of Chapter 17.68 of the Murray City Land Use Ordinance including the additional street frontage landscaping prior to Planning approval of a building permit.
- 8. Meet all parking requirements of Chapter 17.72, including ADA stall regulations.
- 9. The applicant shall meet all sign requirements of Chapter 17.48 and obtain separate building permits for all signage.

SITE PLAN REVIEW APPLICATION

Type of Application(check one): New Construction Remodel
 Land Use Change Addition

Application Information

Project Name: Lazy Dog Restaurant Murray, UT
102 E Winchester Street
Project Address: Murray, Utah 84107

Parcel Identification (Sidwell) Number: 22191530280000

Parcel Area(acres): 1.45 Current Use: Restaurant Proposed: Restaurant

Floor Area(square feet): 8,603 Zoning District: CC Land Use Code: Commercial

Applicant Information

Name: Lazy Dog Restaurants LLC

Mailing Address: 3337 Susan St. Suite 100 City: Costa Mesa State: CA ZIP: 92626

Phone #: 805 440 7537 Fax #: Email Address: jared@goldenpropertydevelopment.com

Property Owner's Information (If different)

Name: Roderick Enterprises

Mailing Address: P.O. Box 186 City: Midvale State: UT ZIP: 84047

Phone #: 801 506 5005 Fax #: Email Address:

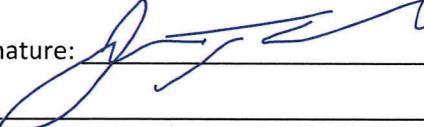
Describe the request in detail (use additional pages, or attach narrative if necessary):

Demolition of existing Macaroni Grill restaurant. Construction of new freestanding Lazy Dog Restaurant to be

8,139 sq. ft. with 208 sq. ft. attached trash enclosure and 256 sq. ft. attached utility room and 1,347 sq. ft covered patio.

Minor modification of site surrounding building to allow development of building. Lazy Dog Restaurant is a full service

sit down restaurant with the sale of full line of alcoholic beverages for onsite consumption and take out sales of food, beer and wine.

Authorized Signature:  Date: 10/31/2024

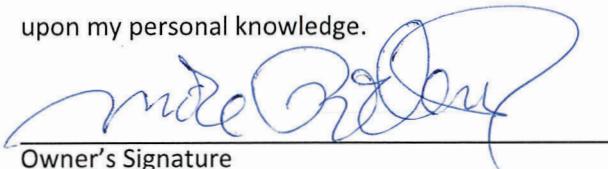
For Office Use Only

Project Number: Date Accepted:

Planner Assigned:

Property Owners Affidavit

I (we) Roderick Enterprises, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.



Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

Subscribed and sworn to before me this 1 day of November, 20 24.

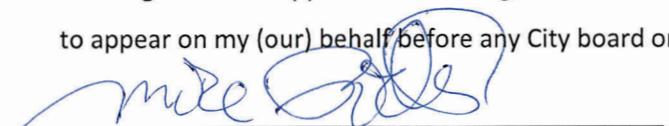

Notary Public

Residing in Murray, Utah

My commission expires: 12/19/26

Agent Authorization

I (we), Roderick Enterprises, the owner(s) of the real property located at 102 E Winchester Street, in Murray City, Utah, do hereby appoint Jared Taylor of GPD LLC, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize Jared Taylor of GPD LLC to appear on my (our) behalf before any City board or commission considering this application.


Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

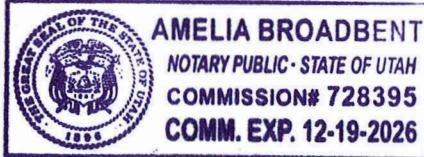
County of Salt Lake

On the 1 day of November, 20 24, personally appeared before me Michael Roderick the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.


Notary public

Residing in: Murray, Utah

My commission expires: 12/19/26





NOTICE OF PUBLIC HEARING

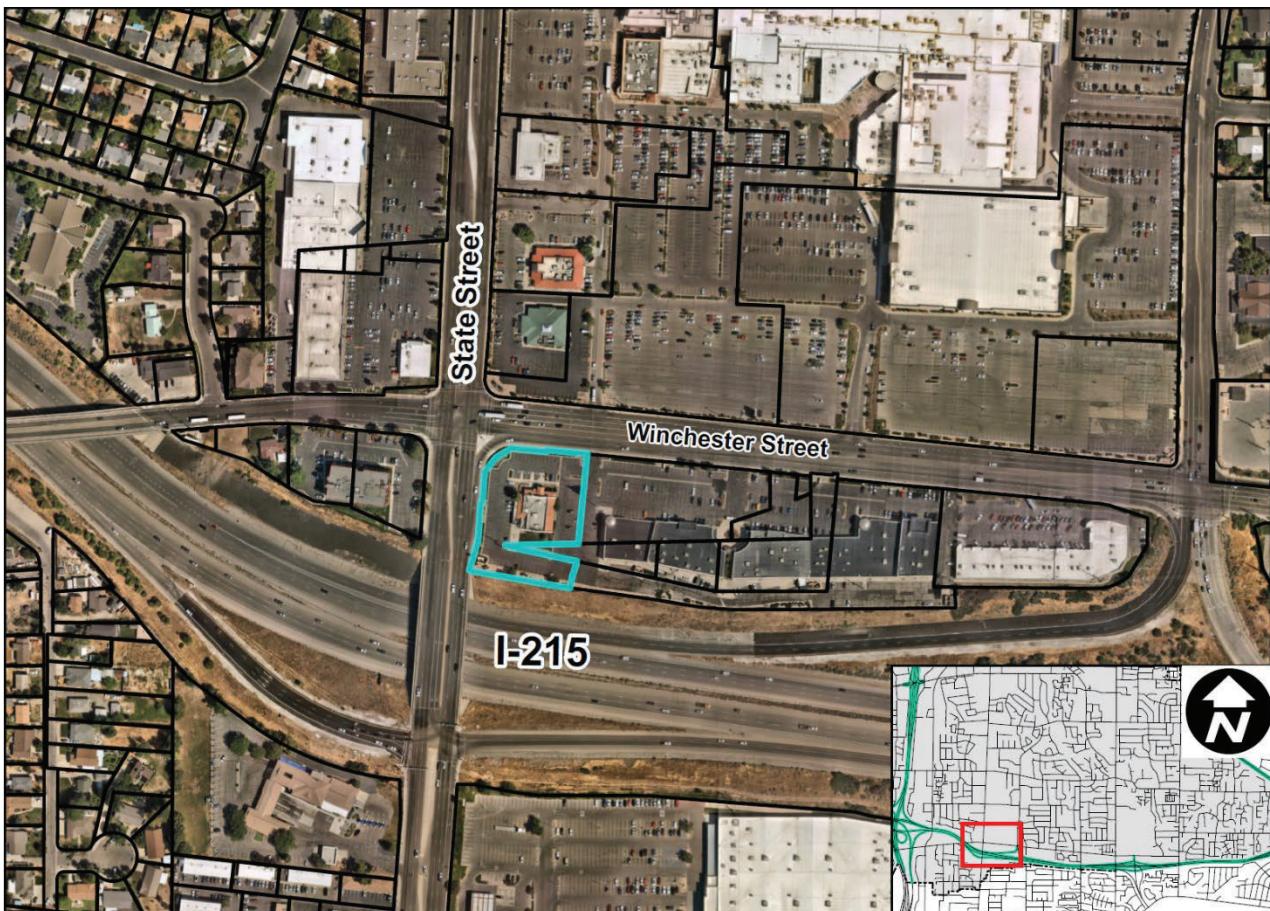
December 5th, 2024, 6:30 PM

The Murray City Planning Commission will hold a public meeting on Thursday, December 5th, at 6:30 p.m. in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on an application submitted by **Lazy Dog Restaurants LLC** for the property located at **102 East Winchester Street**.

The applicant is requesting Site Plan Approval for the construction of a full-service sit-down restaurant.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

Comments are limited to 3 minutes or less, written comments will be read into the meeting record.



This notice is being sent to you because you own property within 300 feet of the subject property. If you have questions or comments concerning this proposal, please call the Murray City Planning Division at 801-270-2430, or e-mail to planningcommission@murray.utah.gov.

Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.





3317 150th STREET, SUITE 100
COSTA MESA, CA 92626
TEL: 714.569.8670
FAX: 714.569.8670
www.razzydog-estuarts.com

102-9-24	B	LIGHT SEATING
SEATING TABULATIONS		
BAR,	16 SEATS	
BAR DINING,	50 SEATS	
DINING ROOM 1:	65 SEATS	
DINING ROOM 2:	80 SEATS	
TOTAL INTERIOR SEATS:	211 SEATS	
TOTAL PATIO SEATS:	60 SEATS	
GRAND TOTAL:	271 SEATS	

102 E. WINCHESTER STREET
MURRAY, UT 84107



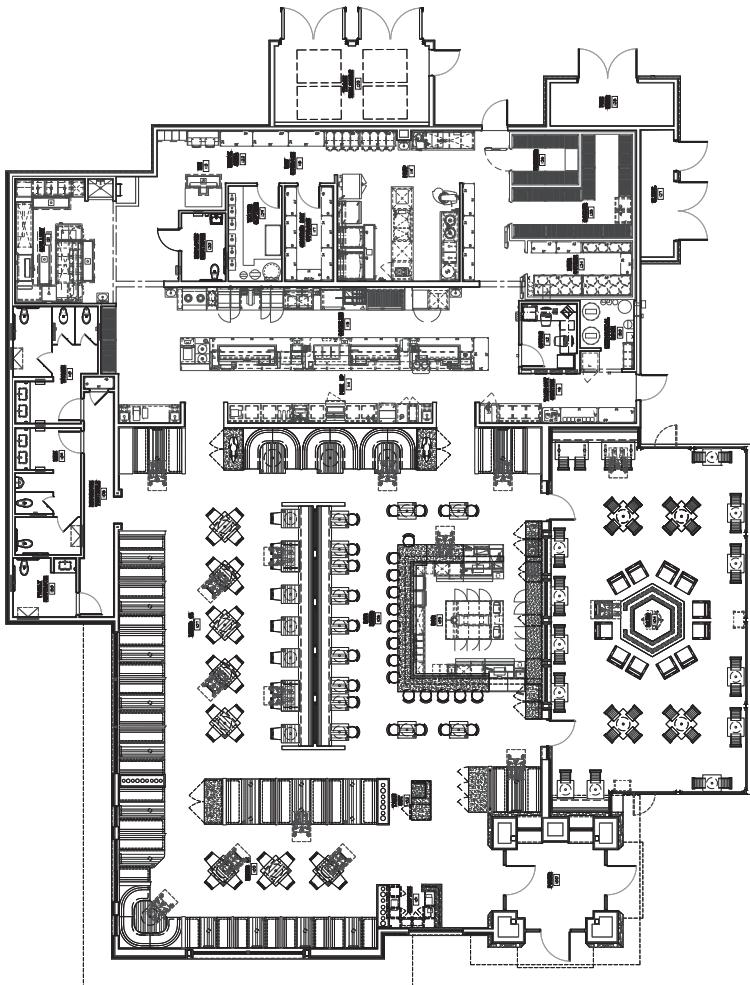
FLOOR PLAN
SHEET TITLE

DRAWN BY
IS
CHECKED BY
SCALE
1/8" = 1'-0"
FOR NO.
SHEET NUMBER

DD3.0



FLOOR PLAN



BUILDING TABULATIONS

BUILDING AREA:	8,139 SQ. FT.
UTILITY ROOMS:	208 SQ. FT.
TRASH ENCLOSURE:	256 SQ. FT.
TOTAL BUILDING AREA:	8,603 SQ. FT.
PIATI AREA:	1,347 SQ. FT.
TOTAL SQUARE FOOTAGE:	9,950 SQ. FT.

SEATING TABULATIONS

SEATS REQUIRED:	233
SEATS PROVIDED:	211
GRAND TOTAL:	271

INDOOR SEATING CHART

SEATING TYPE	PARTY	% OF TOTAL	SEATS	% OF TOTAL TABLES
2-PERSON	18	37%	36	18%
4-PERSON	14	29%	56	29%
5-PERSON	1	2%	5	3%
6-PERSON	15	30%	90	46%
8-PERSON	1	2%	8	4%
TOTAL	49	100%	195	100%

OUTDOOR SEATING CHART

SEATING TYPE	PARTY	% OF TOTAL	SEATS	% OF TOTAL TABLES
2-PERSON	12	67%	24	50%
4-PERSON	6	33%	24	50%
TOTAL	18	100%	48	100%



3317 USAN STREET, SUITE 100
COSTA MESA, CA 92626
FAX: 714.589.8750
www.lazydogrestaurants.com

PRINTED BY
LTD

MURRAY, UT 84107
102 E. WINCHESTER STREET

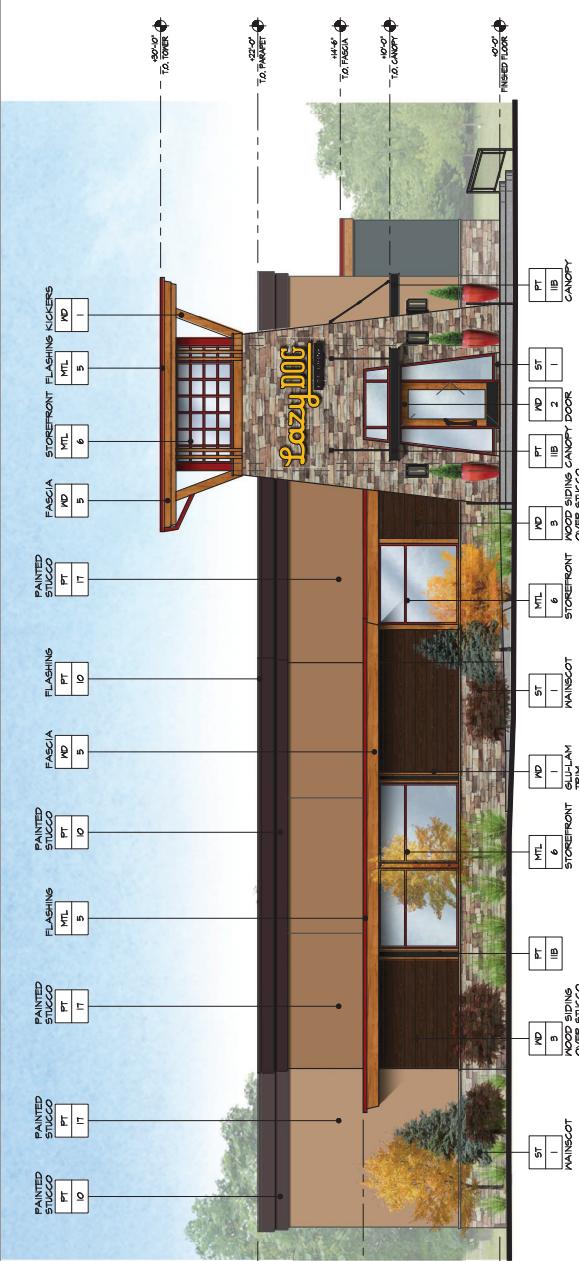


Sheet Title
EXTERIOR
ELEVATIONS

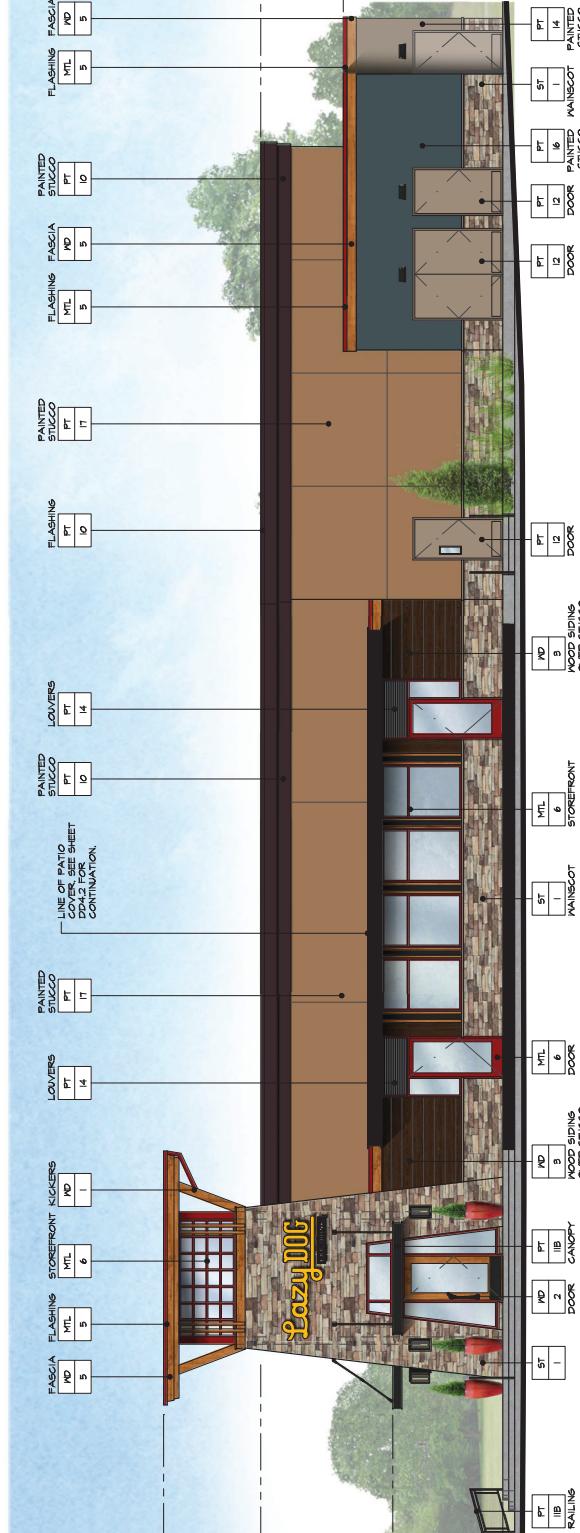
DD4.0

EXTERIOR FINISHES

STONE VENEER, LASY DOG CUSTOM BLEND	1	FLASHING	STOKEFRONT FLASHERS, STICKERS	1
BRICKWORK, STANDING SEAM METAL ROOF (OR APPROVED EQUAL)	1	FLASHING	STOKEFRONT FLASHERS, STICKERS	1
MTL	5	FLASHING	STOKEFRONT FLASHERS, STICKERS	1
MTL	5	FLASHING	STOKEFRONT FLASHERS, STICKERS	1
US, CLAPBOARD, STRIPED, INDIANMAK, OR APPROVED BEAMAN	6	FLASHING	STOKEFRONT FLASHERS, STICKERS	1
COLOR: PRM, BEIGE, CREAM, TAN, PEPPERMINT, LILAC, PINK		FLASHING	STOKEFRONT FLASHERS, STICKERS	
LOVERS, PRE-FINISHED, LILAC, BLACK	14	FLASHING	STOKEFRONT FLASHERS, STICKERS	
EXTERIOR WOOD FINISHES		FLASHING	STOKEFRONT FLASHERS, STICKERS	
SPECIES: DOUG FIR, SP. VERTICAL GRAN		FLASHING	STOKEFRONT FLASHERS, STICKERS	
COLOR: OLYMPIC ELITE WOODLAND OIL SATIN, MOUNTAIN CEDAR, 2 COATS		FLASHING	STOKEFRONT FLASHERS, STICKERS	
EXTERIOR DOUG DOUGLAS FIR WOOD SIGNS		FLASHING	STOKEFRONT FLASHERS, STICKERS	
COLOR: 2 COATS BEER, PREMIUM WEATHER PROOFING	3	FLASHING	STOKEFRONT FLASHERS, STICKERS	
TRANSPARENT, SATIN, COLOR: VAN BROWN, 1 COAT	3	FLASHING	STOKEFRONT FLASHERS, STICKERS	
EXTERIOR WOOD FINISHES		FLASHING	STOKEFRONT FLASHERS, STICKERS	
SPECIES: DOUG FIR, SP. VERTICAL GRAN		FLASHING	STOKEFRONT FLASHERS, STICKERS	
COLOR: OLYMPIC ELITE WOODLAND OIL SATIN, MOUNTAIN CEDAR, 2 COATS		FLASHING	STOKEFRONT FLASHERS, STICKERS	
TRANSPARENT, SATIN, COLOR: VAN BROWN, 1 COAT	5	FLASHING	STOKEFRONT FLASHERS, STICKERS	
EXTERIOR WOOD FINISHES		FLASHING	STOKEFRONT FLASHERS, STICKERS	
SPECIES: DOUG FIR, SP. VERTICAL GRAN		FLASHING	STOKEFRONT FLASHERS, STICKERS	
COLOR: OLYMPIC ELITE WOODLAND OIL SATIN, MOUNTAIN CEDAR, 2 COATS		FLASHING	STOKEFRONT FLASHERS, STICKERS	
TRANSPARENT, SATIN, COLOR: VAN BROWN, 1 COAT	5	FLASHING	STOKEFRONT FLASHERS, STICKERS	
PRM PAINT IV SATIN FINISH COLOR: 1001-1 BLACK, MARC	15	FLASHING	STOKEFRONT FLASHERS, STICKERS	
PRM PAINT IV FLAT FINISH COLOR: 1022-4 ROCK SLOPE	12	FLASHING	STOKEFRONT FLASHERS, STICKERS	
PRM PAINT IV FLAT FINISH COLOR: 1023-5 THUNDERBIRD	14	FLASHING	STOKEFRONT FLASHERS, STICKERS	
PRM PAINT IV FLAT FINISH COLOR: 1024-6 CINNAMON SPICE	16	FLASHING	STOKEFRONT FLASHERS, STICKERS	
PRM PAINT IV FLAT FINISH COLOR: 1025-7 OCEAN	17	FLASHING	STOKEFRONT FLASHERS, STICKERS	



NORTH ELEVATION



WEST ELEVATION

DRAWN BY
IS
CHECKED BY
SCALE
S1/8" = 1'-0"
JOB NO.
SHEET NUMBER



3337 SUSAN STREET, SUITE 100
COSTA MESA, CA 92626
PHONE: 714.596.9960
FAX: 714.596.9970
www.lazypdogrestaurants.com

EXTERIOR FINISHES

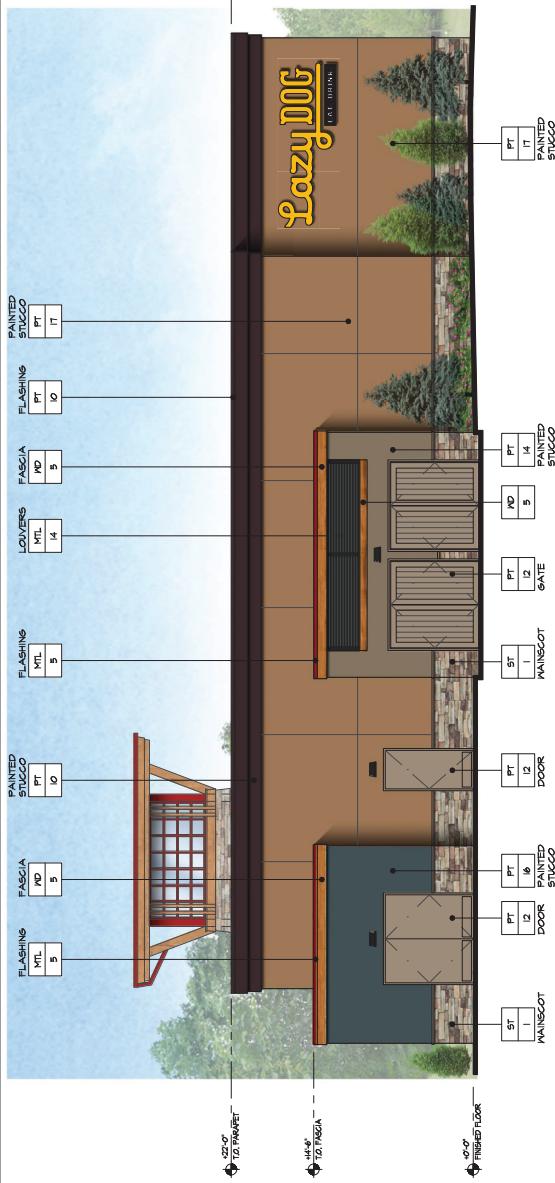
ST	-	MTL	5	MTL	6	MTL	14	ND	-	ND	5	ND	6	PT	10	PT	18	PT	12	PT	14	PT	16	PT	17
----	---	-----	---	-----	---	-----	----	----	---	----	---	----	---	----	----	----	----	----	----	----	----	----	----	----	----

MURRAY, UT 84107

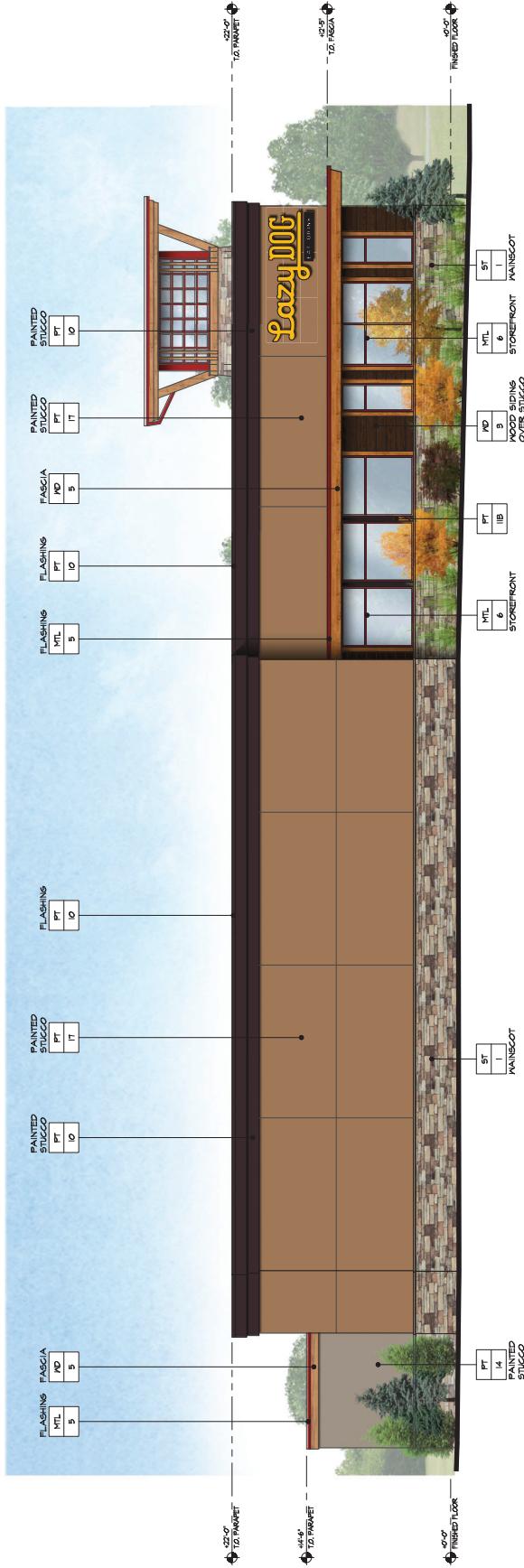
EXTERIOR ELEVATIONS

IS CHECKED BY
SP/KA
SCALE 3/16" = 1'-0"
OBS NO. 18746
SYSTEEN NUMBER

DD4.1



SOUTH ELEVATION





3337 SOUSA STREET, SUITE 100
COSTA MESA, CA 92626
TEL: 714.589.8700
FAX: 714.589.8702
www.lazydogrestaurants.com

102 E. WINCHESTER STREET
MURRAY, UT 84107
102-24 B LIGHTING SENTINEL
102-24 C FINISHED FLOOR

102 E. WINCHESTER STREET
MURRAY, UT 84107

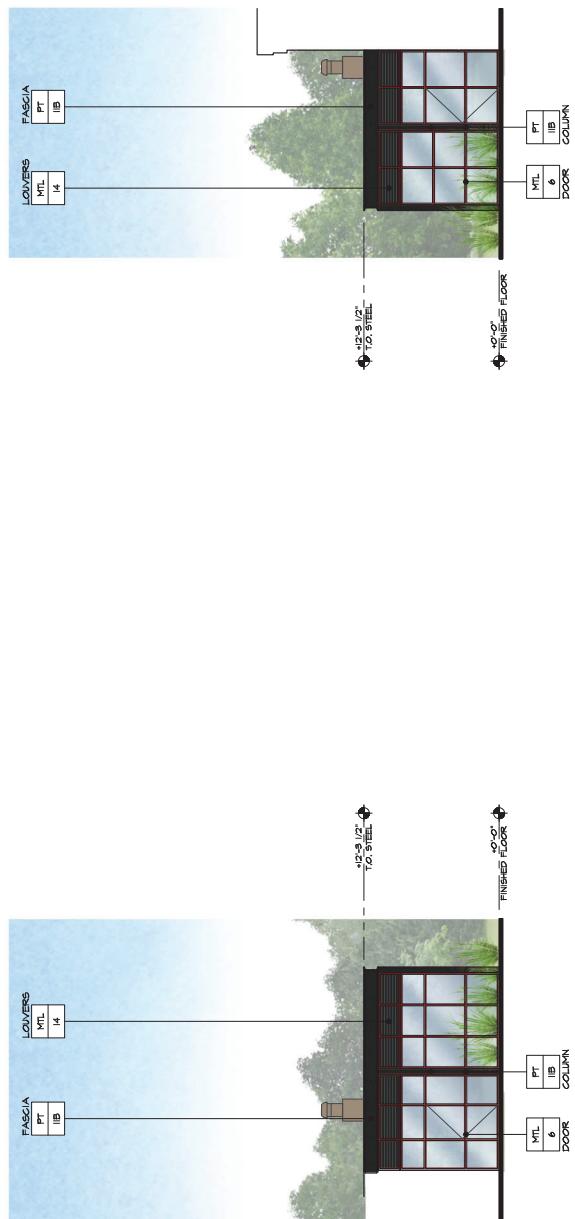


102 E. WINCHESTER STREET
MURRAY, UT 84107
EXTERIOR ELEVATIONS

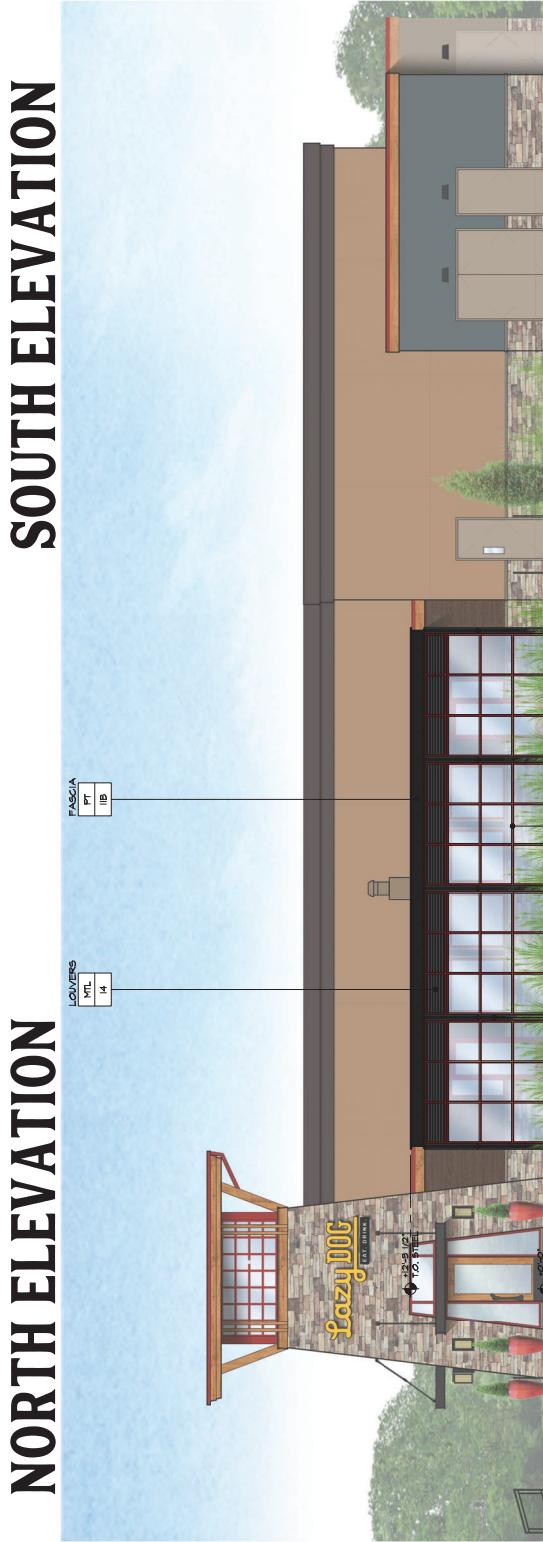
DRAWN BY
IS
SCALE
S 1/8" = 1'-0"
JOB NO.
SHEET NUMBER

DD4.2

SOUTH ELEVATION

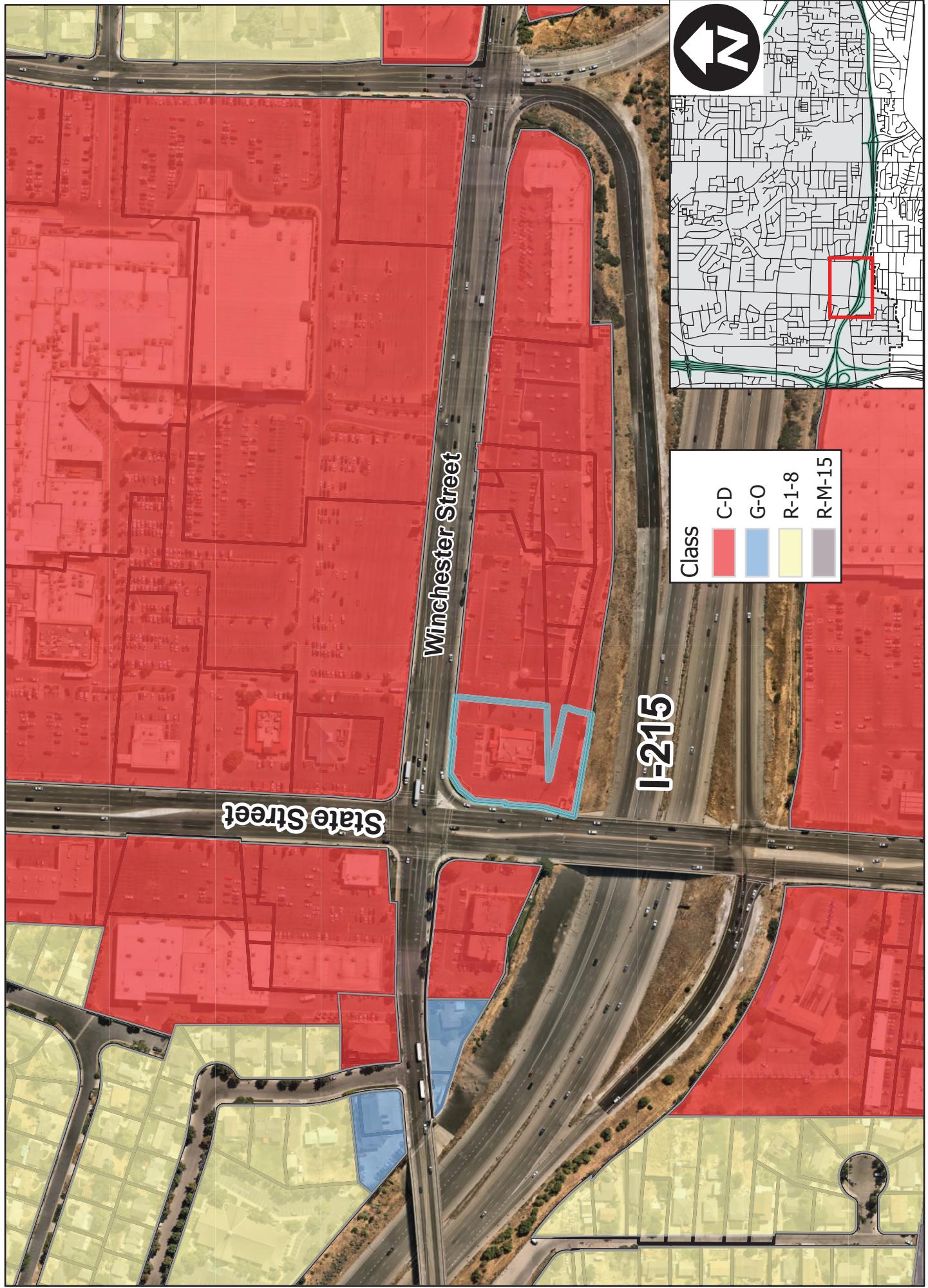


NORTH ELEVATION

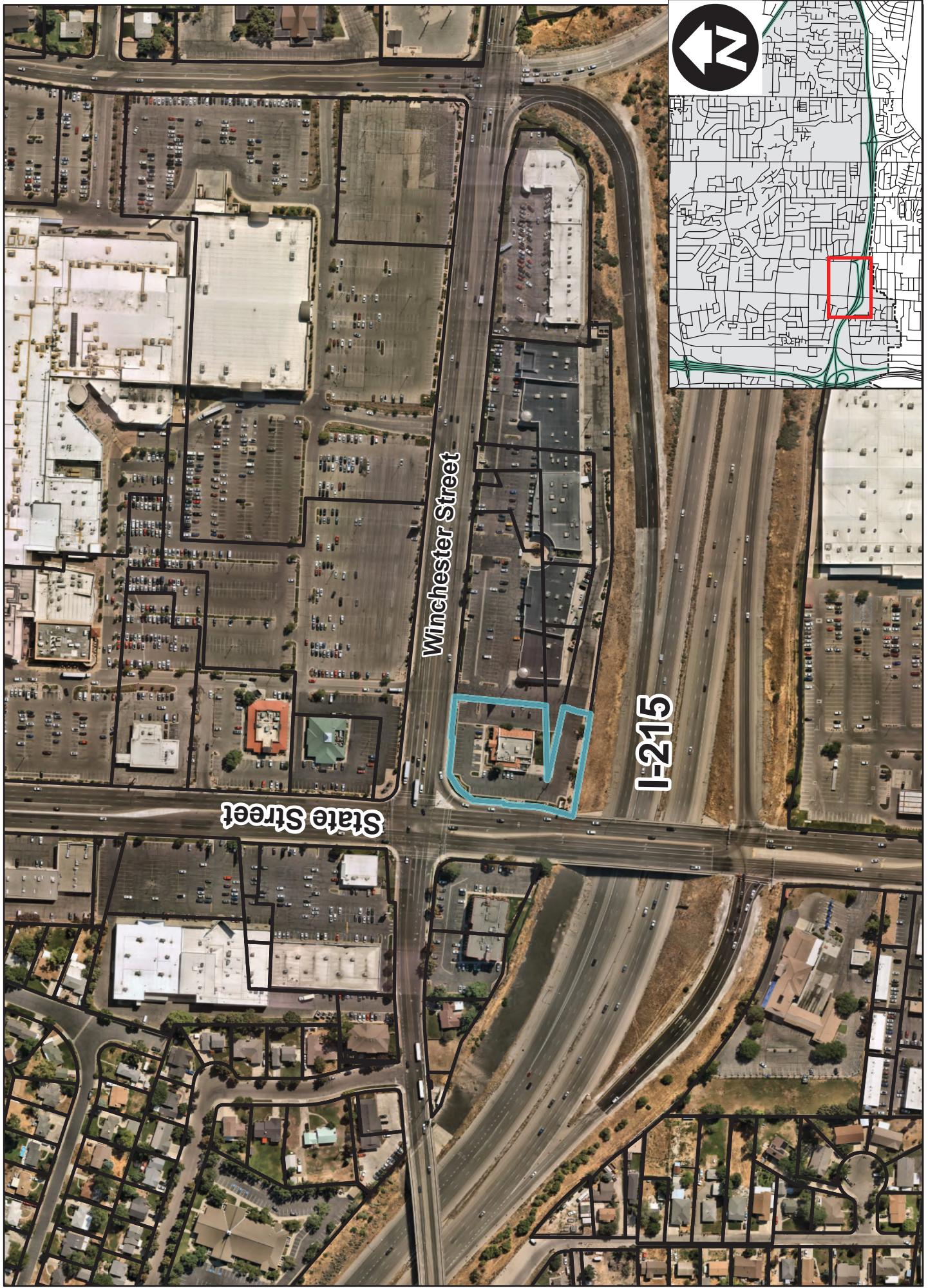


WEST ELEVATION

102 East Winchester Street



102 East Winchester Street





AGENDA ITEM # 5 Game Show Battle Rooms

ITEM TYPE:	Conditional Use Permit		
ADDRESS:	6148 S State St, Unit B	MEETING DATE:	December 5, 2024
APPLICANT:	GSBR Salt Lake City, LLC	STAFF:	Ruth Ruach, Planner I
PARCEL ID:	22-19-101-016	PROJECT NUMBER:	PZ-24-124
ZONE:	C-D, Commercial Development		
SIZE:	1.26 acre site 8,598 square feet unit		
REQUEST:	The applicant is requesting Conditional Use Permit approval to allow a game show entertainment business.		

I. LAND USE ORDINANCE

Section 17.152.030 of the Murray City Land Use Ordinance allows a game show entertainment business (LU #7219) within the C-D zoning district subject to Conditional Use Permit approval.

II. BACKGROUND

Project Location

The subject property is located within an existing commercial space, east of Grant Park and the Murray Senior Rec Center. It fronts State Street and 6150 South.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Commercial	C-D
South	Commercial	C-D
East	Commercial	C-D
West	Residential	R-1-8

Project Description

The applicant is requesting Conditional Use Permit approval to allow a gameshow entertainment business. The applicant provided a detailed narrative that is attached to this report, GSBR Salt Lake City, LLC will host games and events in the unit. This land use type is listed as a conditional use in the CD Zone, requiring review by the Planning Commission.

Access

The subject property has three (3) points of accesses. The subject property can be accessed from 6100 South (25' wide), State Street (34' wide), and 6150 South (28' wide). These access points are shared with all units on the subject property.

Parking

Chapter 17.72 Off Street Parking and Motor Vehicle Access Standards Section 070 states that when a use is not in the table of listed parking requirements the Planning Commission may determine the parking requirements. According to the American Planning Association's report on Parking Standards the nearest comparable use that staff could find is "amusement enterprise, indoor". This use requires a minimum of one (1) parking stall for every 50 square feet of gross assembly space. Staff calculated the gross space at approximately 1,860 square feet. This requires a minimum of thirty-seven (37) spaces.

According to the site plan that was provided by the applicant, the property currently has about sixty-eight (68) parking stalls. These parking stalls are shared between each unit that occupies the subject property.

Landscaping

The subject property abuts a residential zone with an existing ten-feet buffer of landscaping. Per Murray City Code 17.68.040, the subject property is required to be landscaped with 3 trees, 5, 5-gallon shrubs, and 10, 1-gallon shrubs for every 100 linear feet of frontage along 6150 South, the front yard setback. Staff measured the frontage at 155 feet. Based on the frontage, a minimum of five (5) trees, eight (8) 5-gallon shrubs and sixteen (16) 1-gallon shrubs are needed.

III. LAND USE ORDINANCE STANDARDS REVIEW

Murray City Code Section 17.56.060 outlines the following standards of review for conditional uses.

A. That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community and the neighborhood.

With compliance to city regulations, the proposed building will contribute to the continued success of an existing commercial building and will be a benefit to the larger area by ensuring the business' continued success.

B. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of person residing or working in the vicinity, or injurious to property or improvements in the vicinity.

With conditions, the proposed use will not be detrimental to the health, safety, or general welfare of people in the vicinity.

C. That the proposed use will stress quality development with emphasis towards adequate buffering, landscaping, proper parking, and traffic circulation, use of appropriate gradation of building height away from single family districts and density to create privacy and compatibility with surrounding uses, use of building materials which are in harmony with the area, impact on schools, utilities, and streets.

With conditions, the proposed use for a gameshow entertainment business will be in harmony with the allowed uses in this zoning district and others found in the area. This use will fit in with surrounding uses like Fashion Place Mall, and other entertainment uses nearby thus enhancing the area overall.

D. That the applicant may be required to provide such reports and studies which will provide information relating to adequate utilities, traffic impacts, school impacts, soil and water target studies, engineering reports, financing availability, market considerations, neighborhood support and any other information which may be needed in order to render a proper decision.

The applicant has submitted sufficient information for the review of this Conditional Use Permit application by Murray City Staff and the Murray City Planning Commission.

IV. CITY DEPARTMENT REVIEW

The application materials for the proposed granite business were made available to Murray City department staff for review and comment on November 19th, 2024. The following comments have been provided by the reviewing departments:

- The Fire Department recommends approval and states:

- Fire sprinkler and alarm plans to Murray FMO Standard: Please use International Fire Code IFC 2021 and applicable National Fire Protection Association-NFPA as references.
- The Building Department recommends approval and states:
 - Obtain Tenant Improvement permit for construction work.

V. PUBLIC INPUT

Twenty-one (21) notices of the public meeting were sent to all property owners for parcels located within 300 feet of the subject property. As of the date of this report, Staff has not received any public comments.

VI. FINDINGS

Based on the analysis of the Conditional Use Permit application to allow a gameshow entertainment business, staff concludes the following:

1. The proposed use for a gameshow entertainment business (LU #7219), is allowed in the C-D Zoning District subject to Conditional Use Permit approval.
2. With conditions, the proposed use and property will comply with the standards of the Murray City Land Use Ordinance.
3. The proposed use is not contrary to the goals and objectives of the Murray City General Plan in this area.

VII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission APPROVE the Conditional Use Permit to allow a gameshow entertainment business at the property addressed 6148 S State St, Unit B**, subject to the following conditions:

1. The applicant shall obtain a Murray City Business License prior to beginning operations at this location.
2. The project shall comply with all applicable building and fire code standards.
3. The applicant shall obtain permits for any new attached or detached signs proposed for the business.

CONDITIONAL USE PERMIT APPLICATION

Type of Application(check one): New Construction Remodel Amendment to existing CUP
 Land Use Change Addition

Application Information

Project Name: GAME SHOW BATTLE Rooms

Project Address: 6148 S. State St. Unit B, Murray, UT 84107

Parcel Identification (Sidwell) Number: 22-19-101-016-0000

Parcel Area(acres): 1.26 Current Use: 575 -Retail Store Proposed: 7219 - other entertainment

Floor Area(square feet): 4017 Zoning District: C-1 Land Use Code: Commercial

Applicant Information

Name: GSBR Salt Lake City LLC

Mailing Address: 5341 Baywood Shores Dr City: Mound State: MN ZIP: 55364

Phone #: 320-282-8027 Fax #: _____ Email Address: Kevin@gameshowbattrooms.com

Property Owner's Information (If different)

Name: Williamsen Rainbow, Inc.

Mailing Address: 154 E. Myrtle Ave Suite 303 City: Murray State: UT ZIP: 84107

Phone #: 801-364-2602 Fax #: _____ Email Address: Leasing@chasebrook.co.com

Describe the request in detail (use additional pages, or attach narrative if necessary):

Looking to open a Game Show Battle Rooms, where we provide game show events for groups of people to come and experience. People book a time in advance and on the day of their event come in and are the contestants on a live game show experience.

Authorized Signature: JR JK Date: 11/01/2024

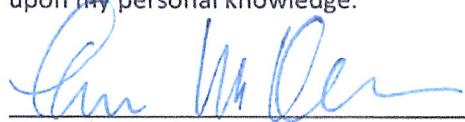
For Office Use Only

Project Number: _____ Date Accepted: _____

Planner Assigned: _____

Property Owners Affidavit

I (we) Thomas Williamson, Jr., being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.



Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

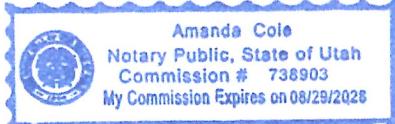
§

County of Salt Lake

Subscribed and sworn to before me this 31 day of October, 20 24.



Notary Public

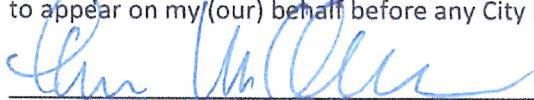


Residing in Sandy Utah

My commission expires: 8/29/28

Agent Authorization

I (we) Thomas Williamson, Jr., the owner(s) of the real property located at 6148 S. State Street, in Murray City, Utah, do hereby appoint _____, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.



Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

On the 31 day of October, 20 24, personally appeared before me Amanda Cole the signer(s) of the above Agent Authorization who duly acknowledge to me that they executed the same.



Notary public

Residing in: Sandy UT

My commission expires: 8/29/28



OWNERS CERTIFICATION FORM
(To Be Complete and Signed by Property Owner)

Property Owner Name: Williamson Rainbow, Inc. Phone: 801-364-2602

Property Address: 6148 S. State Street Unit B Murray, UT 84107

Name of Organization/Business: Chasebrook Company

Contact Person: Amanda Cole Phone: 801-364-2602

Address: 154 E. Myrtle Ave Suite 303 City: Murray UT Zip 84107

Email address: amanda@chasebrookco.com

Project Description: _____

Additional information or comments:

Per City Code Section 17.76.180: Multi Warehouse Facilities:

A. Owners Certification: Upon application for planning and zoning commission or community development division approval for each tenant of a multiuse warehouse facility, the owner's affidavit must reflect in addition to other required information:

1. Certification that the Owners property complies in all respects to all applicable zoning ordinances; and
2. Where applicable, further certification that the Owner's property will comply with any further conditions imposed as a result of each tenant's application for approval.

B. Parking Stalls: Each tenant shall have designated parking stalls meeting all city, state and federal requirements, including signage clearly assigning the required number of stalls to each tenant's business.

As owner of the property being considered for site plan review/conditional use permit, I will comply with Section 17.76.180 as specified above.

Signature: Amber Miller Date: 10/31/2024

Murray City Corporation
Community & Economic Development
10 East 4800 South, Suite 260
Murray, UT 84107
(801) 270-2430



Business Narrative

Game Show Battle Rooms

6148 S. State St. Unit B

Murray, UT 84107

Game Show Battle Rooms - Conditional Use Permit

Game Show Battle Rooms is applying for a conditional use permit in the City of Murray as we hope to open our 16th location, and first in Utah. We are looking to obtain a conditional use permit to host our live game show experiences. We will be applying for a use permit under "7219- Other Entertainment" and look forward to bringing our business to Murray!

Game Show Battle Rooms is a live, first of its kind, interactive game show experience for the public with 15 open locations across the United States. (Minneapolis was location #1 and has been open since 2017). We host live game show events for groups of 6-36 people for families, friends, and corporate team building. Our shows are booked in advance, usually around 2-4 weeks before the scheduled date & time. We typically operate from 10 AM – 11 PM but will schedule 9 AM shows for kids' events if necessary. We will be applying for a liquor license, but only serve canned beverages from a 3-door cooler and we do not serve walk-ins.

Our buildout should be relatively easy as the space suite we are looking at is 4017 square feet.. There will be no exterior construction besides adding exterior building signs that adhere to Murray signage rules. Our buildouts usually take 10 weeks where we will build our 2 Game Show Arenas (1000 sq/ft rooms) and a training/waiting room for rules. We are already in discussions with an architect and are planning to move forward with the space plan attached to our application. All patron entrances shall be illuminated in accordance with the Building Code and the exterior lighting plans approved by the Development Review Board.

We are an outstanding tenant who brings in thousands of people annually to surrounding restaurants and shops as most of our groups are looking to eat and shop before or after their show. We are a rapidly expanding entertainment organization and are so excited to open in Murray!

Thanks for your consideration,
Kevin Letnes
Owner
Game Show Battle Rooms

- 1 space for each 300 square feet of gross floor area (*Yakima, Wash., pop. 71,845*)
- 1 per 100 square feet of waiting room (*Biloxi, Miss., pop. 50,644*)

ambulance service

- Adequate space to accommodate all motor vehicles operated in connection with such use and 2 additional parking spaces per each such vehicle (*Smithfield, Va., pop. 6,324*)
- 1 per ambulance, plus 1 per employee on the largest shift (*Rohnert Park, Calif., pop. 42,236*)
- 1 per employee, plus 1 per onsite staff, plus 1 per facility vehicle (*San Jose, Calif., pop. 894,943*)
- 1 per employee on largest shift (*Greensboro, N.C., pop. 223,891*)
- 1 per 500 square feet (*Henderson, Nev., 175,381*)
- 1 per 200 square feet of gross floor area (*Dona Ana County, N.Mex., pop. 174,682*)
- 1 space per 300 square feet of gross floor area in excess of 4,000 square feet excluding service bays (minimum of 4 spaces), plus 1 space per 2 service bays (*Minneapolis, Minn., pop. 382,618*)
- 1 for every 250 square feet (*Cincinnati, Ohio, pop. 331,285*)

Minimum: 1 per 500 square feet of gross floor area of sales and service building

Maximum: 1 per 375 square feet of gross floor area of sales and service building (*San Antonio, Tex., pop. 1,144,646*)



Bicycle Parking Standard: 0.5 per 1,000 square feet (*Tigard, Ore., pop. 41,223*)

Bicycle Parking Standard: 3 spaces (*Grand Junction, Colo., pop. 41,498*)

amphitheater (see also **stadium**)

- 1 paved space for every 3 fixed seats, plus 1 paved space for every 25 square feet of open seating area when there is not fixed seating, plus 1 paved space for every 1,000 square feet of athletic field, stage, or exhibit space, plus 1 paved space for every 2 employees on the maximum shift (*Maryland Heights, Mo., pop. 25,756*)

amusement enterprise (see also **recreation facility** uses)

- 1 for each 100 square feet of floor area (*Madison Village, Ohio, pop. 2,921*)
- 1 parking space per 4 seats (*Huntsville, Tex., pop. 35,078*)
- 1 per 4 seats in the largest assembly area (*Lexington, Mass., pop. 30,355*)
- 5 spaces per 1,000 square feet of gross floor area (*Bloomington, Ind., pop. 69,291*)

Minimum: 1 per 250 square feet of gross floor area
Maximum: 1 per 150 square feet of gross floor area (*Glenville, N.Y., pop. 28,183*)



Bicycle Parking Standard: 1 per 10 auto spaces (*Madison, Wisc., pop. 208,054*)

amusement enterprise, indoor

- 1 space per 200 square feet floor area (*Alexandria, Va., pop. 128,283*)
- 1 space for each 50 square feet devoted to amusement devises, virtual reality games, restaurants and bar areas (*University City, Mo., pop. 37,428*)
- 1 parking space for each 100 square feet where the area is less than 4,000 square feet (*San Bruno, Calif., pop. 40,165*)
- 3 spaces per each 1,000 square feet of gross floor area, plus 1 additional space for each 2 licensed game machines (*Spartanburg, S.C., pop. 39,673*)
- 40 spaces, plus 1 space for each 50 square feet in excess of 4,000 square feet of gross floor area (*San Bruno, Calif., pop. 40,165*)



Bicycle Parking Standard: 0.5 per 1,000 square feet (*Tigard, Ore., pop. 41,223*)

Bicycle Parking Standard: 1 per 20 vehicle spaces, which are 1 per 4 seats or 1 per 50 square feet if not permanent seats (*Grand Junction, Colo., pop. 41,498*)

amusement enterprise, outdoor

- 1 space per 400 square feet lot area (*Alexandria, Va., pop. 128,283*)
- 1 space for every 3 persons that the outdoor facilities are designed to accommodate when used to maximum capacity (*Las Vegas, Nev., pop. 478,434*)
- 1 parking space for each 200 square feet of gross floor area, plus 1 parking space for each 400 square feet of site area accessible to the public, exclusive of the parking area (*Indianapolis, Ind., pop. 781,870*)
- 1 space for each 200 square feet of enclosed building space devoted to customer service and administration, plus 1 space for every 3 persons that the outdoor facilities are designed to accommodate when used to the maximum capacity (*University City, Mo., pop. 37,428*)
- 30, plus 1 additional space for each 1,000 square feet of site area over 2,000 square feet exclusive of buildings (*Pearland, Tex., pop. 37,640*)



Bicycle Parking Standard: 0.4 per 1,000 square feet (*Tigard, Ore., pop. 41,223*)

amusement park

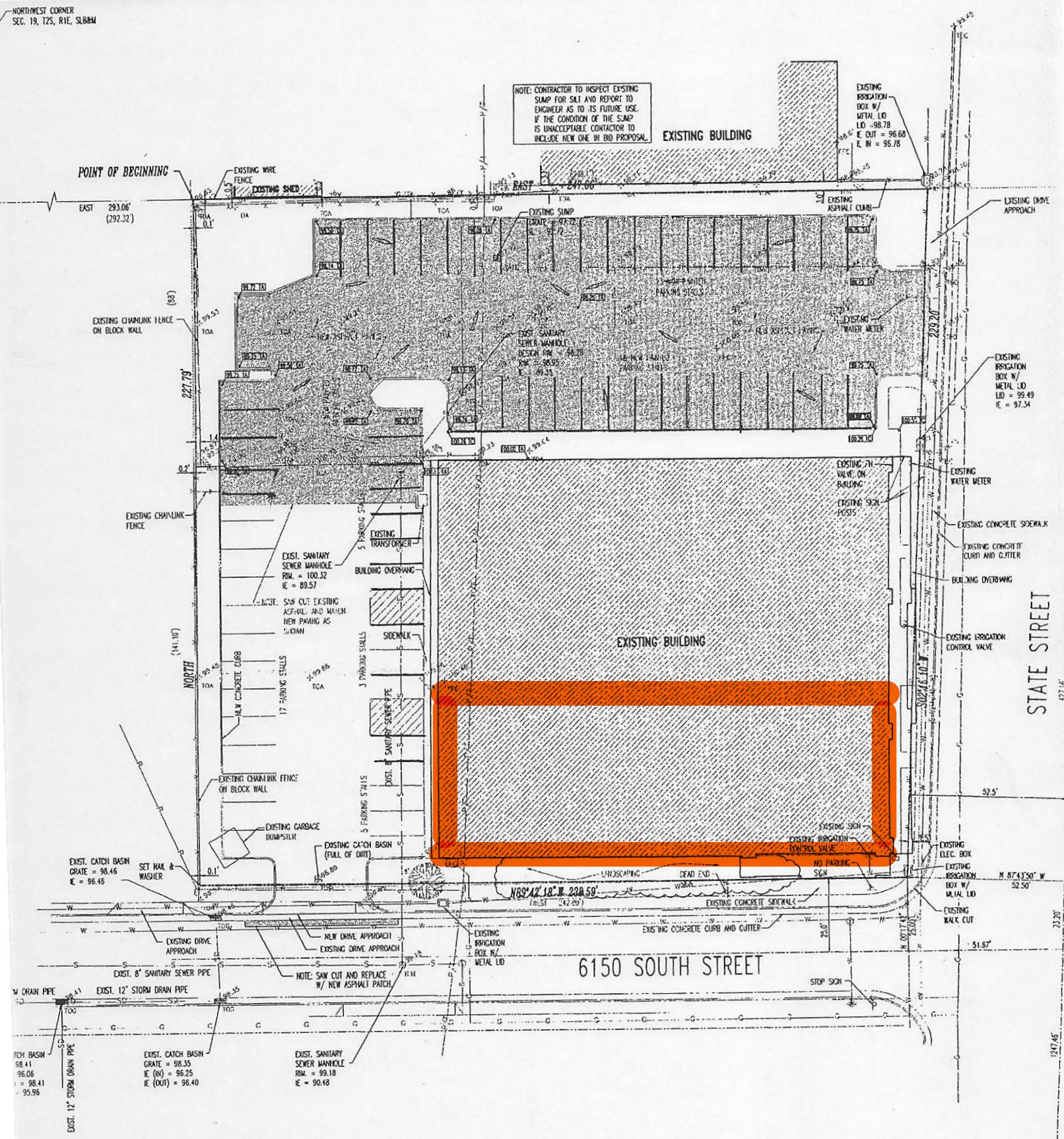
- 1 per 200 square feet of activity area (*Greensboro, N.C., pop. 223,891*)

Exhibit D – Site Plan

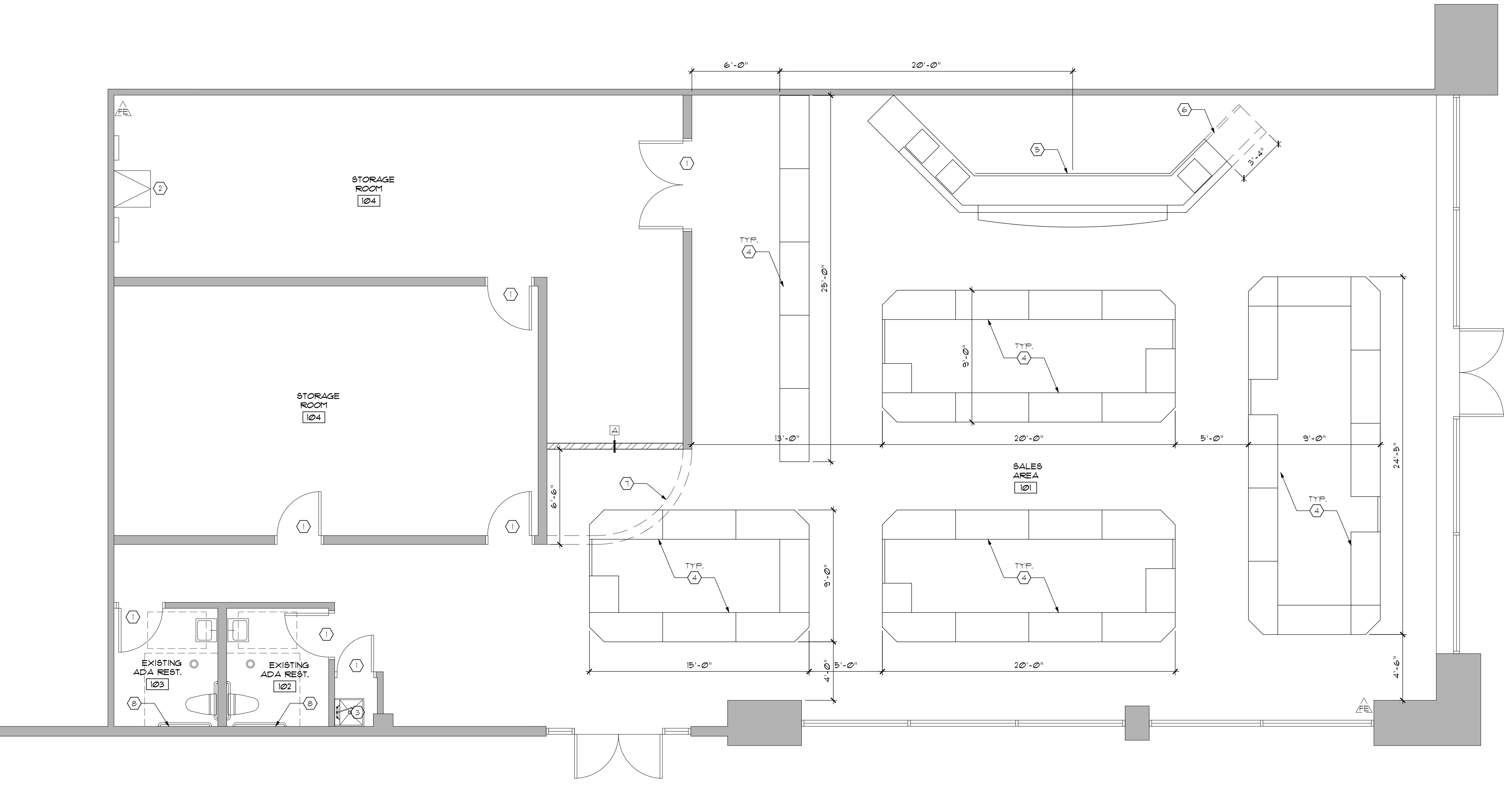
MCNEIL ENGINEERING & LAND SURVEYING, L.C.

MCNEIL CONSULTING ENGINEERING,

NORTHWEST CORNER
SEC. 19, T2S, R1E, SL B&M



Existing Floor Plan



LEGEND	
	EXISTING EXTERIOR/INTERIOR WALL TO REMAIN
	NEW FRAMED WALL
WALL TYPE LEGEND	
	NEW 3½" 20 GA. METAL STUD FRAMING W/ ½" GYP. BOARD ON BOTH SIDES, EXTEND WALL UP TO STRUCTURE ABOVE - MATCH ADJACENT WALLS

WALL NOTES:	
1. INTERIOR WALLS ARE TO HAVE ½" GYPSUM BOARD, ALL WALLS TO BE TAPE, MUD, & SANDED READY TO RECEIVE A ¼" FINISH.	

FIRE NOTES	
1. A MINIMUM FIRE EXTINGUISHER TYPE UL RATING - 2A10:BC - MUST BE MOUNTED AND LABELED FOR EVERY 15 FEET TRAVEL DISTANCE IN TENANT SPACE. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY PRIOR TO MOUNTING AND INSTALLATION.	
2. LIGHTED SIGNAGE IS REQUIRED AT THE EXITS.	
KEY NOTES - FLOOR PLAN	
<ul style="list-style-type: none"> ① EXISTING HOLLOW METAL DOOR AND TO BE PAINTED ② EXISTING ELECTRICAL EQUIPMENT TO REMAIN ③ EXISTING JANITOR SINK TO REMAIN ④ RELOCATED JEWELRY DISPLAY CASE - CONTRACTOR TO ENSURE CASE IS IN GOOD WORKING CONDITION ⑤ RELOCATED POINT OF SALE COUNTER AND CABINETRY ⑥ CONTRACTOR TO DEMOLISH EXISTING PORTION OF POINT OF SALE COUNTER ⑦ EXISTING WALL TO BE DEMOLISHED ⑧ CONTRACTOR TO ADD VERTICAL GRAB BAR PER ADA DETAILS ON A104 	

MORGAN JEWELERS
TENANT IMPROVEMENT

6148 S STATE STREET
MURRAY, UTAH

CHRONOLOGY

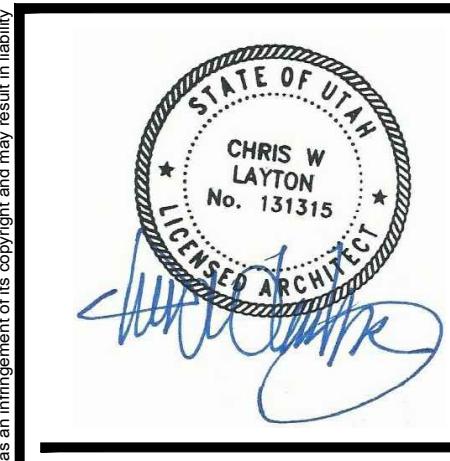
PROJECT NO
21.091

DWN BY/CHK BY

TITLE
FLOOR PLAN

24X36 SHEET #

A101

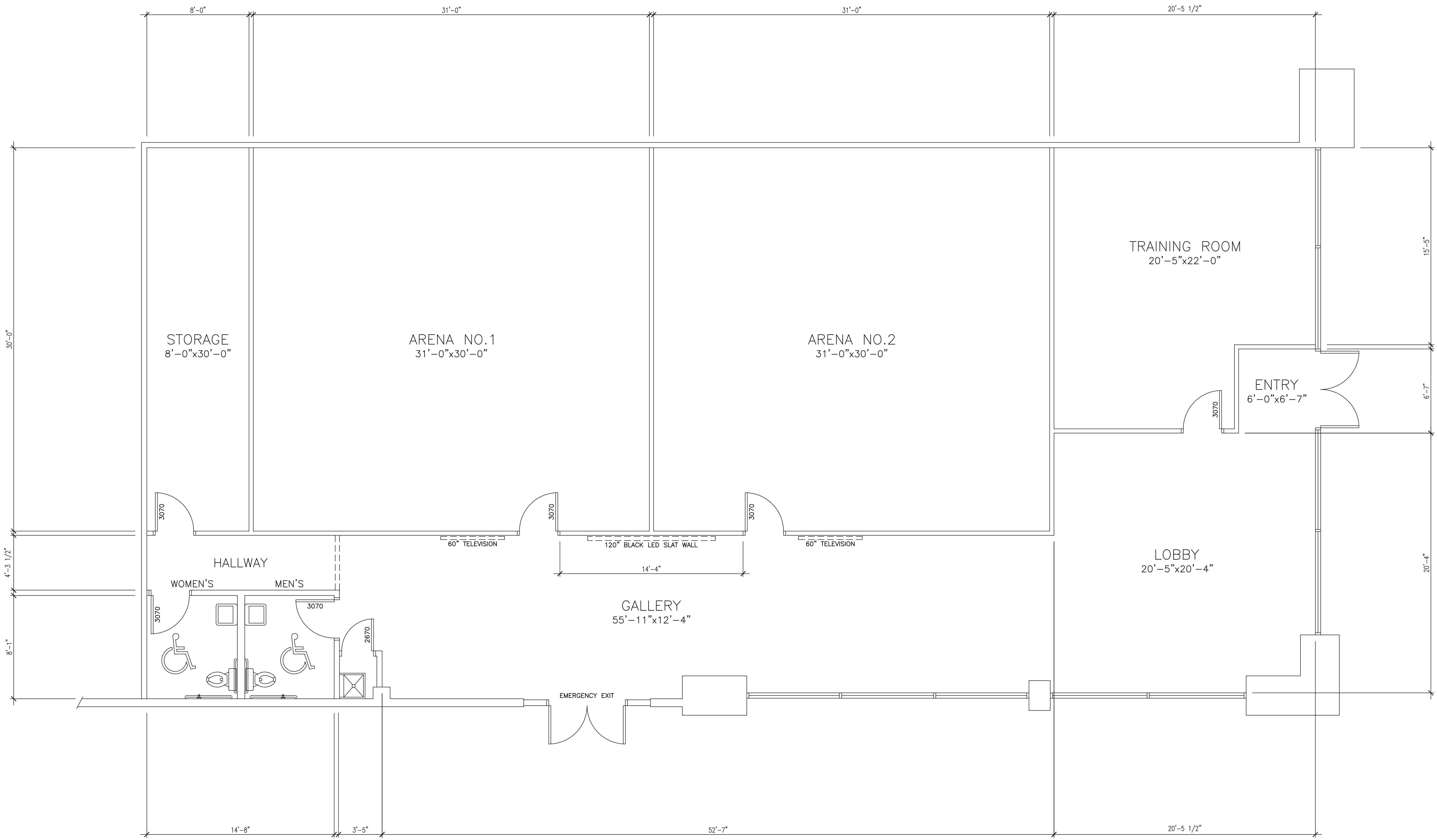


PRINTED DATE
08.31.2021

2005 EAST 2700 SOUTH | SUITE 200
SALT LAKE CITY, UTAH 84109
P:801.487.0715 | www.laytondavisarchitects.com

The drawings, designs, details, arrangements and plans included or represented are the sole property of Layton Davis Architects and are subject to the copyright of Layton Davis Architects. They were created, evolved and developed for use on, and in connection with the specified project. Any use of the drawings, designs, materials or information contained herein, including but not limited to copying or reproduction, which is not expressly authorized by Layton Davis Architects, is strictly prohibited as an infringement of its copyright and may result in liability.

Proposed Floor Plan





NOTICE OF PUBLIC MEETING

December 5th, 2024, 6:30 PM

The Murray City Planning Commission will hold a public meeting on Thursday, December 5th, at 6:30 p.m. in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on an application submitted by **GSBR Salt Lake City, LLC** for the property located at **6148 South State Street, Unit B**. The applicant is requesting Conditional Use Permit approval to allow a gameshow entertainment business in an existing commercial space.

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

Comments are limited to 3 minutes or less, written comments will be read into the meeting record.



This notice is being sent to you because you own property within 300 feet of the subject property. If you have questions or comments concerning this proposal, please call the Murray City Planning Division at 801-270-2430, or e-mail to planningcommission@murray.utah.gov.

Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.

Public Notice Dated | November 20, 2024

Murray City Hall | 10 East 4800 South | Murray | Utah | 84107

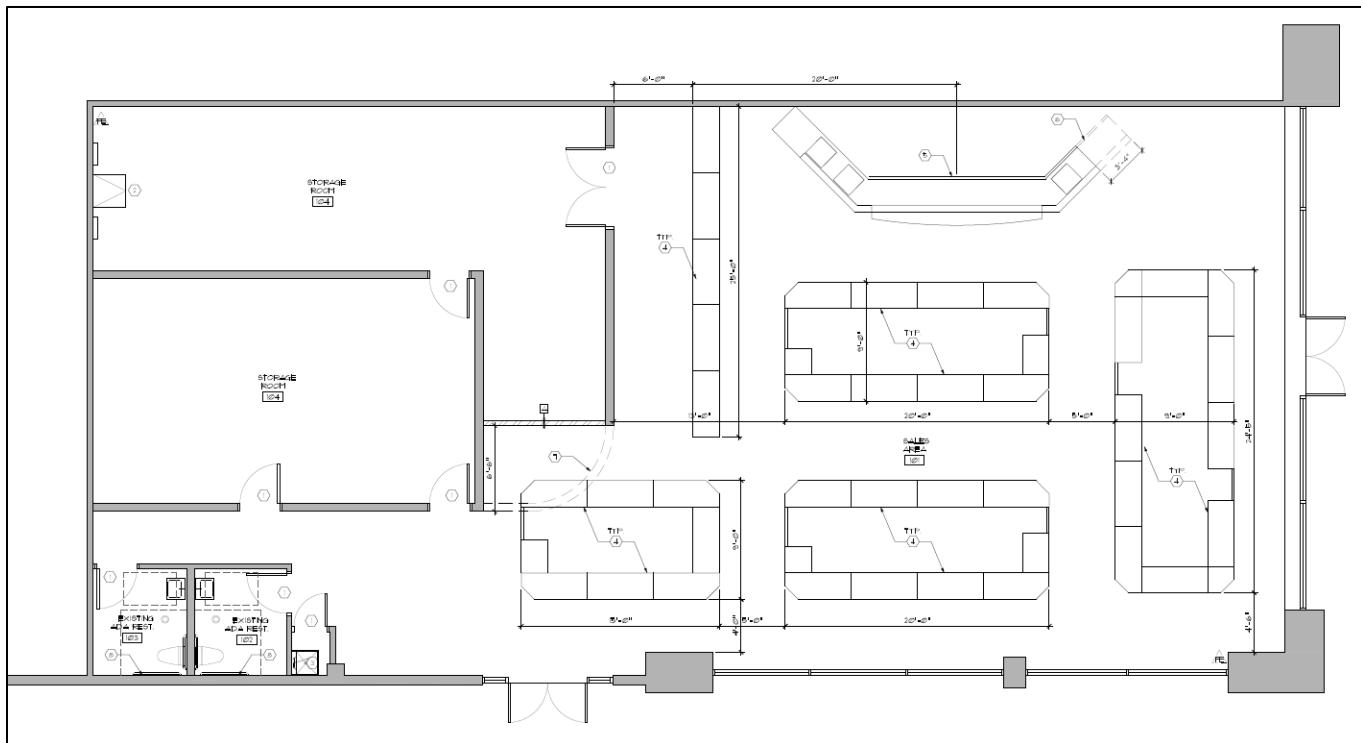


Figure 1: Existing Floorplan

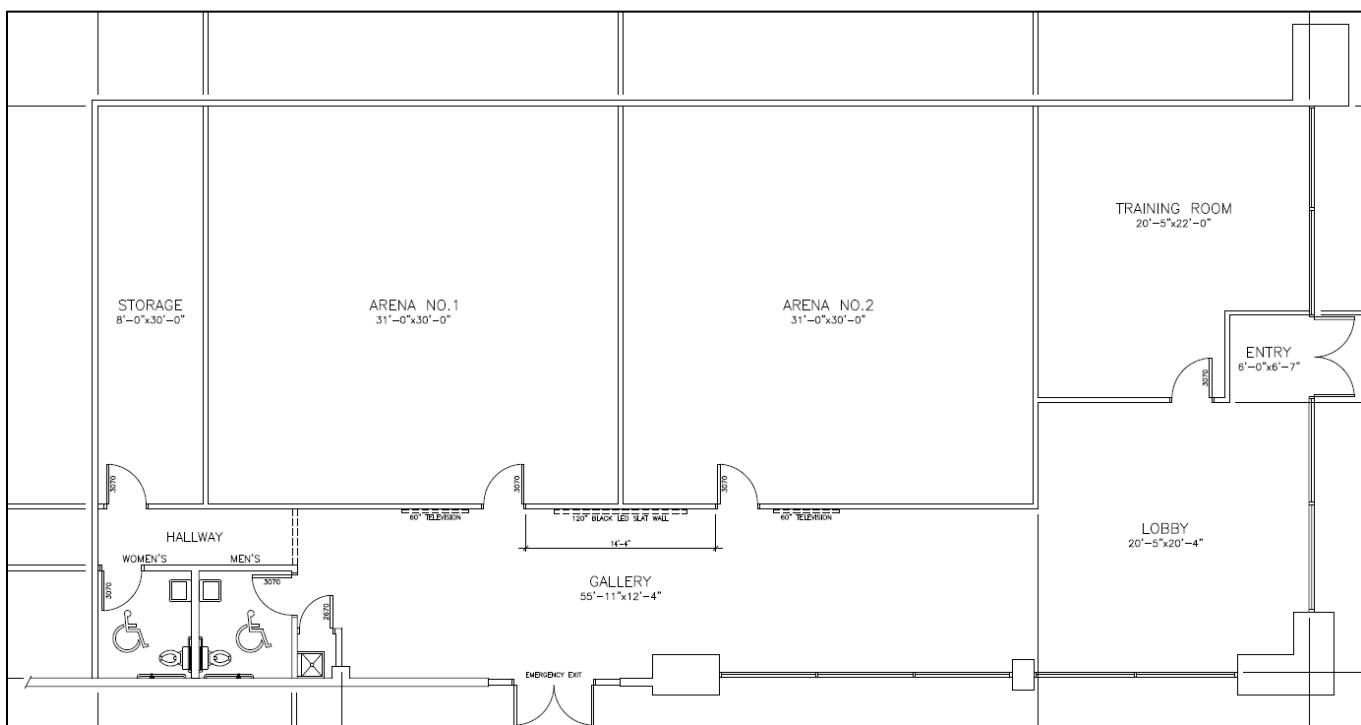
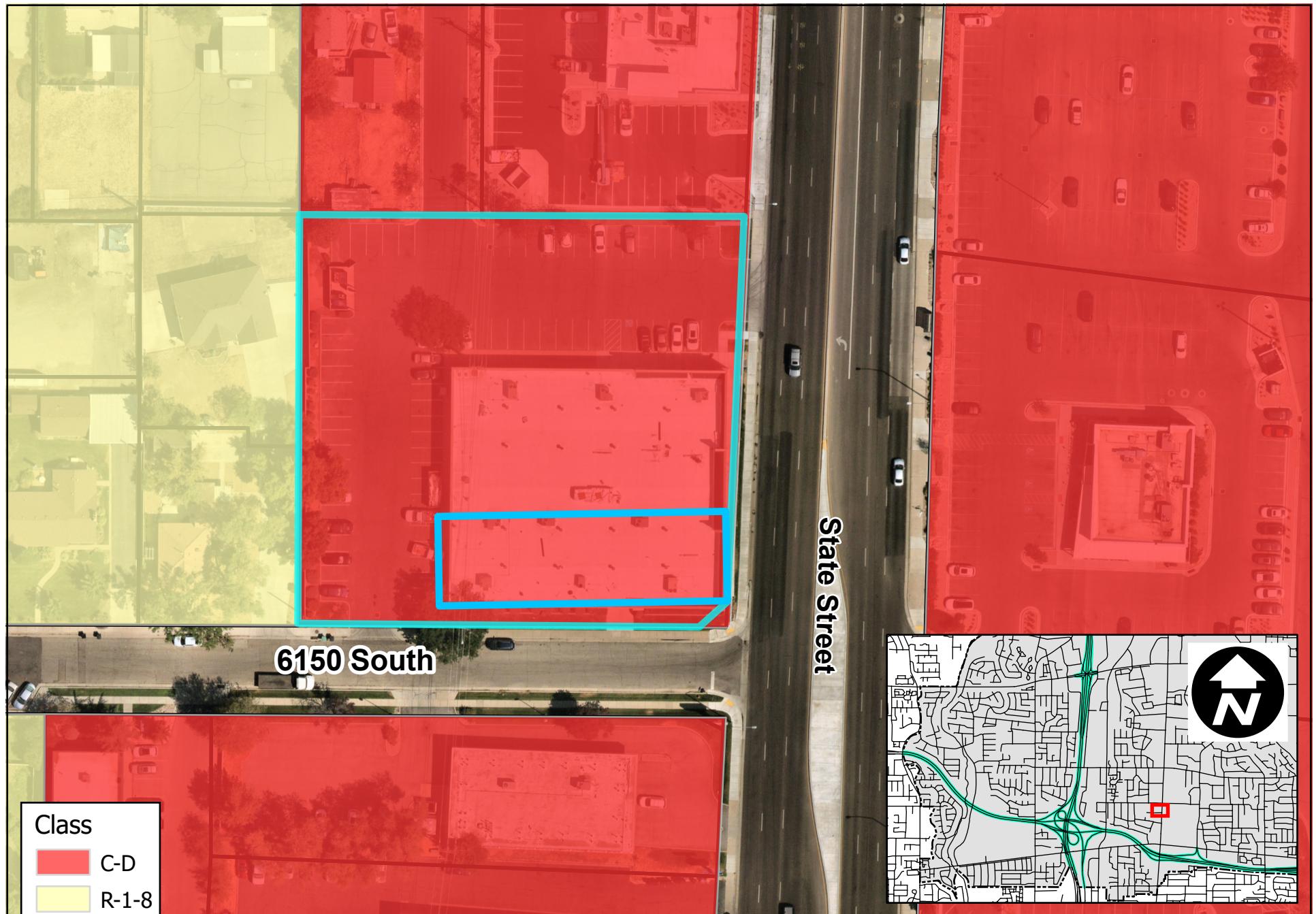


Figure 2: Proposed Floorplan

6148 S State St



6148 S State St





AGENDA ITEMS #6 & #7 Villages on Vine

ITEM TYPE:	Preliminary Subdivision Approval and Planned Unit Development approval		
ADDRESS:	5425 South Vine Street	MEETING DATE:	December 5 th , 2024
APPLICANT:	Brad Reynolds Construction	STAFF:	Zachary Smallwood, Planning Division Manager
PARCEL ID:	22-17-102-010	PROJECT NUMBER:	24-130 & 24-131
ZONE:	R-M-20, Multiple Family High Density		
SIZE:	3.49 – acre site 55 townhomes		
REQUEST:	The applicant is requesting approval to develop the subject property into fifty-five (55) townhomes.		



I. LAND USE AND SUBDIVISION ORDINANCE

Section 17.60.020 of the Murray City Land Use Ordinance states that “Planned Unit Developments may be allowed as conditional uses in all zoning districts by the Planning Commission if the planned unit development fully meets the underlying zoning district use limitations in which it is to be located. Section 17.124.030 of the Murray City Land Use Ordinance requires that single-family attached (#1112) and Multi-Family dwelling (#1151) receive Conditional Use approval by the Planning Commission.

Title 16, Subdivision Ordinance, Section 16.04.050(F) requires that applications for subdivision of property be reviewed and approved by the Murray City Planning Commission as the Land Use Authority. The proposed subdivision has been designed to meet use and density requirements of the R-M-20, Multiple Family High Density zone in the Murray City Land Use Ordinance, Chapter 17.124.

Section 17.56.100 specifies that Conditional Use Permit approval for the PUD is valid for a two-(2) year time period and unless there is substantial action under a conditional use permit within the two (2) years of its issuance, the approval shall be null and void. The planning commission may grant a yearly extension, when deemed in the public interest.

II. BACKGROUND

Project Location

The subject property is comprised of one parcel totaling 3.49 acres in the R-M-20 Zone located on the east side of Vine Street across from the Murray City Cemetery. The property was most recently used as a haunted house known as “Dead City”. The haunted house closed approximately two (2) years ago and has since been demolished due to a fire that occurred within the building.

Process

The application before the Planning Commission is for a Conditional Use Permit for Planned Unit Development and Preliminary Subdivision approval. If the Planning Commission approves the preliminary subdivision, the applicant will work with the city staff to prepare a Final Plat to be reviewed and approved by Murray City. After Final Subdivision approval is granted, the applicant will prepare a Final Subdivision plat. When the Final Subdivision plat has been approved and accepted by the City Engineer, it will be circulated for signatures of approval which will allow the recordation of the plat at the Salt Lake County Recorder’s Office.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Commercial/Office	C-D
South	Residential Multi-Family	R-M-20
East	Commercial/Warehouse Units	C-D
West	Open Space/Cemetery	O-S

Project Description

The proposal is a planned unit development for a townhome subdivision with a total of fifty-five (55) new units along Vine Street. The applicant is requesting a Conditional Use Permit to

allow for a Planned Unit Development and for Preliminary Subdivision approval. The applicants are requesting the Planned Unit Development approval to allow a variation of setbacks. (See chart below).

Project Density

The R-M-20 zone allows for a base density of up to seventeen (17) houses per acre. Based on the 3.49 acres of the subject property the project is allowed up to fifty-nine (59) units. This proposed fifty-five (55) is approximately sixteen (16) houses per acre and meets the requirements of the zone and for granting the PUD approval.

R-M-20 Zone Standards

Murray Land Use Section 17.124.080 states “Building height will be determined by the planning commission for conditional uses, except no building shall be erected to a height greater than forty feet (40’), and no dwelling shall be erected to a height less than one story. The proposed subdivision/PUD has been designed to meet the requirements of Chapter 17.124 (R-M-20) with proposed variations that are allowed by Chapter 17.60 (Planned Unit Development) within the Murray City Land Use Ordinance.

R-M-15 Zone	Code Requirement	Proposed
Front Yard	Twenty-Five Feet (25’)	Twenty-Four Feet (24’)
Rear Yard	Twenty-Five Feet (25’)	Twenty-Four Feet (24’)
Interior Side Yard	Eight Feet (8’)	Eight Feet (8’)
Corner Side Yard	Twenty Feet (20’)	N/A
Height	Up to Forty Feet (40’)	Between 26’-38’

The structures consist of between three (3) to six (6) attached townhomes. The table above shows the requirements of the zone and the requested changes allowed by the PUD application. In the table above, the front and rear setbacks have been proposed at twenty-four feet (24’). Planning and Engineering Staff do not have any concerns with the layout as proposed.

Parking

Parking for Multi-Family developments are required at 2.5 spaces per unit, two of the spaces are required for the individual unit and the half space is required for visitor parking. The developer is proposing fifty-five units which results in a total parking need of 138 spaces. Each townhome has a two-car garage that provides 110 spaces and a mix of driveway space and guest/visitor parking totaling sixty-three (63) additional spaces. The applicant has provided a total of 173 spaces, this exceeds the minimum required by the Murray City Land Use Ordinance Section 17.120.110. No additional parking is required at this time.

Access

The development will have a single access at Vine Street that terminates in a cul-de-sac emergency access turnaround. Vehicular access will be provided to all units via a main road with twenty-four foot (24’) hard surface drive and thirty-four foot (34’) total right-of-way. The Fire Department has reviewed this proposal and have given their approval.

There are pedestrian accesses provided by three (3) sidewalks that come into the property from Vine Street. One goes through the entire south side of the project. There is another full sidewalk on the south side of Vine View Way.

Landscaping

Section 17.60.030(G) requires that open space be provided, and that it be accessible and usable by all persons occupying dwelling units in the planned unit development. The applicant has provided a landscaping plan that is attached to this staff report for the Planning Commission's review. The landscape plan shows a number of landscaped courtyards and open spaces throughout the development. Although there is no particular structure such as a pavilion, the project has substantial open space and landscaping, and each individual unit has some landscaping. The landscaping will be maintained by the Homeowner's Association.

Fencing

The applicant has proposed an eight foot (8') solid masonry fence along the north, east, and south boundary lines. The north and east sides do not require Planning Commission approval. The South side that abuts residential requires that the Planning Commission grant the height exception.

Building Materials and Colors

The developer has proposed a number of different floorplans available with this project. The proposed elevations and materials are included as attachments to this report for the Planning Commission to review and comment on. Broadly, the buildings consist of fiber cement siding with stone/masonry veneer. The colors are variations of earth tones including grays, cream, blues, and green siding.

Utilities

Utility plans are included as an attachment to this staff report. Public utilities are available within Vine Street to serve the proposed subdivision. Comments and requirements from City Staff regarding utilities are included in the recommended conditions of the Preliminary approval.

Purpose & General Plan Considerations

The purpose of Planned Unit Developments is to allow the clustering of dwellings in such a way that allows for the consolidation of open space, to provide meaningful and usable open space and to make more efficient use of utilities. The proposed development has been carefully considered and impacts from Vine Street and the provided site plan separates the potential development from the surrounding uses while maintaining the allowed density. The project is a good use of infill between the apartments to the south and the commercial uses to the north.

The 2017 General Plan includes five key initiatives intended to guide implementation. The third of these initiatives, Livable + Vibrant Neighborhoods, states support for creating neighborhood nodes designed for people and scaled to complement the surrounding area, providing life-cycle housing to allow residents to age in place, and increasing access to parks and open space.

One of the goals to accomplish this is to encourage a variety of housing options. Providing a for-sale townhome product helps to create a more vibrant neighborhood. This location is also preferable as it provides opportunities to access local retail such as the Smith's to the south.

III. PLANNED UNIT DEVELOPMENT REQUIRED CONDITIONS

A. *No planned unit development shall have an area of less than two (2) acres.*

The project contains approximately 3.49 acres.

B. *A planned unit development which will contain uses not permitted in the zoning district in which it is to be located will require a change of zoning district and shall be accompanied by an application for a zoning amendment; provided further, that in single-family residential zones, only single-family dwellings may be allowed in the planned unit development. Hotels, motels, lodges, mobile home parks, etc., shall not be considered residential uses for the purpose of this chapter.*

Land Use #1112 Single-Family attached and #1151, Multi-family dwellings are allowed in the R-M-15 Zone. No other uses are proposed for this project.

C. *The development shall be in single, partnership, or corporate ownership, or under option to purchase by an individual or a corporate entity at the time of application or the application shall be filed jointly by all owners of the property.*

The proposed townhouse project will be governed by a homeowner's association and is being developed by Brad Reynolds Construction. Each unit will be individually held after the developer has built the unit.

D. *The planning commission shall require such arrangement of structures and open spaces within the site development plan, as necessary, to assure that adjacent properties will not be adversely affected. Lot area, lot width, yard and coverage regulations shall be determined by approval of the site plan.*

The applicant has proposed very minimal reductions to the setbacks and provides for greater utilization of open space. The applicant has proposed a site plan that complements the apartments to the South. They have also not proposed an overtly large project that keeps the cemetery to the west largely unimpacted.

E. *Preservation, maintenance, and ownership of required open space within the development shall be accomplished by:*

- a. *Dedication of the land as a public park or parkway system in accordance with Utah Code Annotated section 10-9a-607; or*
- b. *Complying with the provisions of the condominium ownership act of 1963, title 57, chapter 8, Utah Code Annotated, 1953, as amended, which provides for the payment of common expenses for the upkeep of the common areas and facilities; or*
- c. *Creation of a separate corporation for homeowners by which common areas shall be owned and maintained.*

The developer has created a homeowners' association that will maintain the project's open

spaces and private access ways.

F. *Landscaping, fencing, and screening related to the uses within the site and as a means of integrating the proposed development into its surroundings shall be planned and presented to the planning commission for approval, together with other required plans for the development.*

The applicants have provided a landscaping plan that outlines the full scope of landscaped areas for the project and provided a unique open space element.

G. *Open space must be provided in every planned unit development. Open space is the part of a planned unit development which is accessible and usable by all persons occupying dwelling units in the planned unit development. It is any parcel or area of land or water that is improved or unimproved, and serves the purposes of preservation of natural resources, outdoor recreation, or public health and safety. Open space is land permanently set aside for conservation or recreation purposes. It may include woodlands, play areas, walking and riding trails, wetlands, and lands in the floodplain as well as land use for passive or active recreation. By way of illustration only, open space shall not be provided from any required front or side yard, parking area, driveway, or street.*

The applicant has provided multiple courtyard areas between buildings and has a larger 3,000 square foot shared lawn area for outdoor recreation. The applicant has indicated a lot of yard area as open space and will provide for semi-private areas for almost all units.

H. *All lots or parcels in a planned unit development shall abut a public street which is improved to standards established according to title 16, chapter 16.16 of this code.*

The proposal provides for the sale of individually owned townhomes along Vine Street, a public road.

I. *The planning commission may recommend that sidewalks and park strips be omitted if the proposed development has an internal pedestrian system, and if the planning commission finds that the public safety is not substantially jeopardized.*

The proposed development has a series of pedestrian paths that provides pedestrian circulation throughout the development.

IV. STATE AND MUNICIPAL CODE REVIEW STANDARDS

Murray City Code Title 16, Subdivision Ordinance of the Murray City Code outlines the requirements for subdivision review. Utah State Code (10-9a-604) states that a subdivision plat may not be recorded until approved by the Land Use Authority of the City. The Planning Commission's role as the Land Use Authority is to ensure that a proposed subdivision is consistent with established ordinances, policies, and planning practices of the City. The Planning Commission makes investigations, reports, and recommendations on proposed subdivisions as to their conformance to the General Plan, Title 17 of City Code, and other pertinent documents as it deems necessary. After completing its review of the preliminary plat, the Planning Commission shall review and approve or disapprove the final plat in accordance with Section 16.12.070 of City Code.

Utah State Code Section 10.9a.507(2)(a) states: "A land use authority shall approve a

conditional use if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards.

The Planning Commission's role as the Land Use Authority is to ensure that a proposed project is consistent with established ordinances, policies and planning practices of the City. The Planning Commission makes investigations, reports, and recommendations on proposed projects and "after the public hearing, the city may establish conditional zones within existing zoning districts where it is shown that it is in the best interests and general welfare of the community."

V. LAND USE ORDINANCE STANDARDS REVIEW - CONDITIONAL USE PERMIT

Murray City Code Section 17.56.060 outlines the following standards of review for conditional uses.

- A. That the proposed use of the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the community and the neighborhood.**

With compliance to city regulations, the proposed subdivision will add to the surrounding neighborhood, and will be a benefit to the larger area by providing much needed infill housing in the valley.

- B. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of person residing or working in the vicinity, or injurious to property or improvements in the vicinity.**

With conditions, the subdivision use will not be detrimental to the health, safety, or general welfare of people in the vicinity.

- C. That the proposed use will stress quality development with emphasis towards adequate buffering, landscaping, proper parking and traffic circulation, use of appropriate gradation of building height away from single family districts and density to create privacy and compatibility with surrounding uses, use of building materials which are in harmony with the area, impact on schools, utilities, and streets.**

The proposed subdivision will contribute to the overall quality of the development by enhancing what currently is a vacant lot with weeds. The new townhouses will ensure maintenance of the site. The proposed use for townhouse style residential is in harmony with the allowed uses in the zoning district.

- D. That the applicant may be required to provide such reports and studies which will provide information relating to adequate utilities, traffic impacts, school impacts, soil and water target studies, engineering reports, financing availability, market considerations, neighborhood support and any other information which may be needed in order to render a proper decision.**

The applicant has submitted sufficient information for the review of this Conditional Use Permit application by Murray City Staff and the Murray City Planning Commission.

VI. PUBLIC COMMENTS

Notice of the public hearing were sent to 203 property owners for parcels located within 450 feet of the subject property and affected entities. As of the date of this report, Staff has received one emailed public comment that is provided as part of the packet.

VII. CITY DEPARTMENT REVIEW

Planning Division Staff circulated the proposed plans to multiple Murray City Departments for review on November 19, 2024. The following comments have been provided by the departments:

- The Murray City Engineer recommends approval subject to the following conditions:
 - Meet City subdivision and requirements and standards – City Code Title 16.
 - Address all engineering review comments prior to printing the plat to mylar.
 - Provide a copy of the HOA CC&R's and declaration.
 - Provide grading, drainage and utility plan and profile drawings – City Code Chapter 16.08
 - Meet City storm drainage requirements, on-site detention, and retention of the 80th percentile storm is required. Implement Low Impact Development (LID) practices – Subdivision Application & City Code 13.52.050.
 - Provide PUE's on all common areas – City Code Chapter 16.16.100.
 - Provide a site geotechnical study and follow recommendations. The geotechnical study should provide LID recommendations and infiltration rates for the 80th percentile retention – Subdivision Application.
 - Provide any required easements and vacate any unused easements within the proposed buildable areas and street - City Code Chapter 16.16.100.
 - Obtain irrigation company approval for pipe relocation and drainage connection – City Code Chapter 16.16.300.
 - Provide subdivision street lighting - City Code 16.16.310.
 - Provide an improvement bond prior to recording the subdivision plat (Vine Street improvements) – City Code Chapter 16.16.220
 - Develop a site SWPPP and obtain a City Land Disturbance Permit prior to beginning any site grading and construction work – City Code Chapter 15.52.030.
 - Obtain a City Excavation Permit for work within City roadways – City Code Chapter 12.16.020.
- The Murray City Fire Department recommends approval and states:
 - The road widths have been addressed with CED Staff conversations.
 - Standard:
 - Please use International Fire Code IFC 2021 and applicable National Fire Protection Association-NFPA as references.
- The Murray City Water Division recommends approval and states:
 - All water utility work must follow Murray City Water Specification and Requirements
 - <https://murray.utah.gov/DocumentCenter/View/13884/Spec-Book-2023-Updated-4142023?bidId=>
 - We are transitioning to AMI. Larger meter lids will need a recessed hole to allow us to install AMI equipment. We are in the process of rewriting our specifications and requirements. Ensure the water division approves submittal for meter lids.

- Coordinate with the City and Salt Lake County Health Department when tying into the water main on the North side of the development.
- Specify which meter or meters that will be responsible for irrigation use.
- The Murray City Wastewater Division recommends approval subject to the following:
 - Appropriately label existing sewer lines in the site. Existing lines that will remain are not 15" PVC. All 3 lines that tie into SSMH # EX101 are 8" concrete lines.
 - Appropriately label SSMH #EX101 as a 4-foot manhole not 5 FT manhole as shown on the utility plans.
 - Lateral lines for units 19-26 that will connect to existing Murray City sewer main will have to be tapped at the main by Murray City Wastewater. Please note this on the utility plan page. A tapping fee of \$350 will be required for each of the laterals for units 19-26.
- The Murray City Power Department recommends approval and states:
 - Murray Power has been in discussion with Corey Nielson with Reynolds Construction for a few months now planning the future power layout on this project. No concerns at this point.

The preceding comments are addressed as conditions of approval in the final section of this report.

VIII. FINDINGS

Based on the analysis of the Conditional Use Permit for a Planned Unit Development, review of The Villages on Vine Preliminary Subdivision plans, and a survey of the surrounding area, staff finds the following:

1. With conditions, the proposed subdivision complies with the standards of the Murray City Subdivision Ordinance.
2. The proposed lots comply with the development standards for properties found in Chapters 17.124 and 17.60 of the Murray City Land Use Ordinance.
3. The proposed subdivision is in harmony with the purposes of the R-M-20 Zone, representing appropriate residential development.
4. The proposed subdivision is in harmony with the purpose and intent of the Murray City General Plan, providing additional opportunities for appropriate residential development in the area.

IX. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted, and a site review, Staff recommends that the **Planning Commission APPROVE the Planned Unit Development and GRANT Preliminary Subdivision approval for The Villages on Vine on the properties addressed 5425 South Vine Street** subject to the following conditions:

1. The applicant shall meet all requirements of the Murray City Engineer, including the

following:

- a. Meet City subdivision and requirements and standards – City Code Title 16.
- b. Address all engineering review comments prior to printing the plat to mylar.
- c. Provide a copy of the HOA CC&R's and declaration.
- d. Provide grading, drainage and utility plan and profile drawings – City Code Chapter 16.08
- e. Meet City storm drainage requirements, on-site detention, and retention of the 80th percentile storm is required. Implement Low Impact Development (LID) practices – Subdivision Application & City Code 13.52.050.
- f. Provide PUE's on all common areas – City Code Chapter 16.16.100.
- g. Provide a site geotechnical study and follow recommendations. The geotechnical study should provide LID recommendations and infiltration rates for the 80th percentile retention – Subdivision Application.
- h. Provide any required easements and vacate any unused easements within the proposed buildable areas and street - City Code Chapter 16.16.100.
- i. Obtain irrigation company approval for pipe relocation and drainage connection – City Code Chapter 16.16.300.
- j. Provide subdivision street lighting - City Code 16.16.310.
- k. Provide an improvement bond prior to recording the subdivision plat (Vine Street improvements) – City Code Chapter 16.16.220
- l. Develop a site SWPPP and obtain a City Land Disturbance Permit prior to beginning any site grading and construction work – City Code Chapter 15.52.030.
- m. Obtain a City Excavation Permit for work within City roadways – City Code Chapter 12.16.020.

2. The subdivision shall meet the requirements of the Murray City Fire Department including the width of the access drives and emergency gate access requirements.
3. The developer shall meet all Murray City Water Division requirements.
4. The developer shall meet all Murray City Wastewater Division requirements.
5. The developer shall meet all Murray City Power Department requirements and meet to discuss planning the new power service.
6. The applicant shall provide a copy of the recorded CC&Rs to the Planning Division.
7. All units within the subdivision shall comply with the requirements of the R-M-20 Zone as outlined in Chapter 17.124, Chapter 17.62, Condominiums, and Planned Unit Development as outlined in Chapter 17.60 of the Murray City Land Use Ordinance.
8. Application for a Final Subdivision Review must be made within a one-year time period from Preliminary Subdivision, or the preliminary approval will be null and void. The subdivision plat shall be recorded within one year of the final approval by Murray City or the subdivision plat approval shall be null and void.
9. The applicant shall install an eight foot (8') fence along the north, east, and south property lines.

PLANNED UNIT DEVELOPMENT APPLICATION

Type of Application(check one): Residential Commercial Condominium

Name of Proposed Subdivision: Villages on Vine

Project Address: 5425 South Vine Street, Murray Utah

Parcel Identification (Sidwell) Number: 22-17-102-010

Parcel Area(acres): 3.498 Zoning District: C-D Total # of Lots: 55

Applicant Information

Name: Brad Reynolds Construction

Mailing Address: P.O. Box #17958 City: SLC State: UT ZIP:

Phone #: 801-281-2200 Fax #: Email Address: brad@bradreynoldsconstruction.com

Property Owner's Information (If different)

Name: Brad Reynolds Construction

Mailing Address: P.O. Box #17958 City: SLC State: UT ZIP:

Phone #: 801-281-2200 Fax #: Email Address: brad@bradreynoldsconstruction.com

Licensed Engineer Information

Name: Ensign Engineering and Land Survey Inc. Robert Elder (Engineer)

Mailing Address: 45 West 10000 South Ste #500 City: Sandy State: UT ZIP: 84070

Phone #: 801-255-0529 Fax #: Email Address: relder@ensignutah.com

Authorized Signature:  Date: 11-4-2024

For Office Use Only

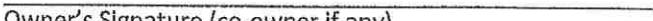
Project Number: 24-130 Date Accepted: 11/15/24

Planner Assigned: Zachary Smallwood

Property Owners Affidavit

I (we) Brad Reynolds, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.


Owner's Signature

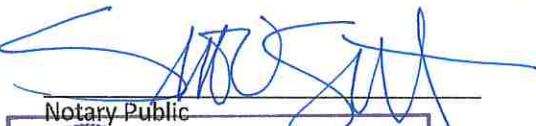

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

Subscribed and sworn to before me this 4 day of November, 2024.



Notary Public



Residing in Sandy, VT

My commission expires: 7-13-2026

Agent Authorization

I (we), _____, the owner(s) of the real property located at _____, in Murray City, Utah, do hereby appoint _____ as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

On the _____ day of _____, 20 _____, personally appeared before me _____ the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.

Notary public

Residing in: _____

My commission expires: _____

PRELIMINARY SUBDIVISION APPLICATION

Name of Proposed Subdivision: Villages on Vine

Project Address: 5425 South Vine Street, Murray Utah

Parcel Identification (Sidwell) Number: 22-17-102-010

Parcel Area(acres): 3.498 Zoning District: C-D Total # of Lots: 55

Applicant Information

Name: Brad Reynolds Construction

Mailing Address: P.O. Box #17958 City: SLC State: UT ZIP:

Phone #: 801-281-2200 Fax #: Email Address: brad@bradreynoldsconstruction.com

Property Owner's Information (if different)

Name: Brad Reynolds Construction

Mailing Address: P.O. Box #17958 City: SLC State: UT ZIP:

Phone #: 801-281-2200 Fax #: Email Address: brad@bradreynoldsconstruction.com

Licensed Engineer Information

Name: Ensign Engineering and Land Survey Inc. Robert Elder (Engineer)

Mailing Address: 45 West 10000 South Ste #500 City: Sandy State: UT ZIP: 84070

Phone #: 801-255-0529 Fax #: Email Address: relder@ensignutah.com

Authorized Signature:  Date: 11-4-2024

For Office Use Only

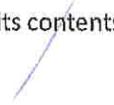
Project Number: 24-131 Date Accepted: 11/15/24

Planner Assigned: Zachary Smallwood

Property Owners Affidavit

I (we) Brad Reynolds, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application; that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.


Owner's Signature


Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

Subscribed and sworn to before me this 4 day of November, 20 24.


Notary Public

Residing in Sandy, UT

My commission expires: 7-13-2026

Agent Authorization

I (we), _____, the owner(s) of the real property located at _____, in Murray City, Utah, do hereby appoint _____, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

On the _____ day of _____, 20 _____, personally appeared before me _____ the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.

Notary public

Residing in: _____

My commission expires: _____



NOTICE OF PUBLIC HEARING

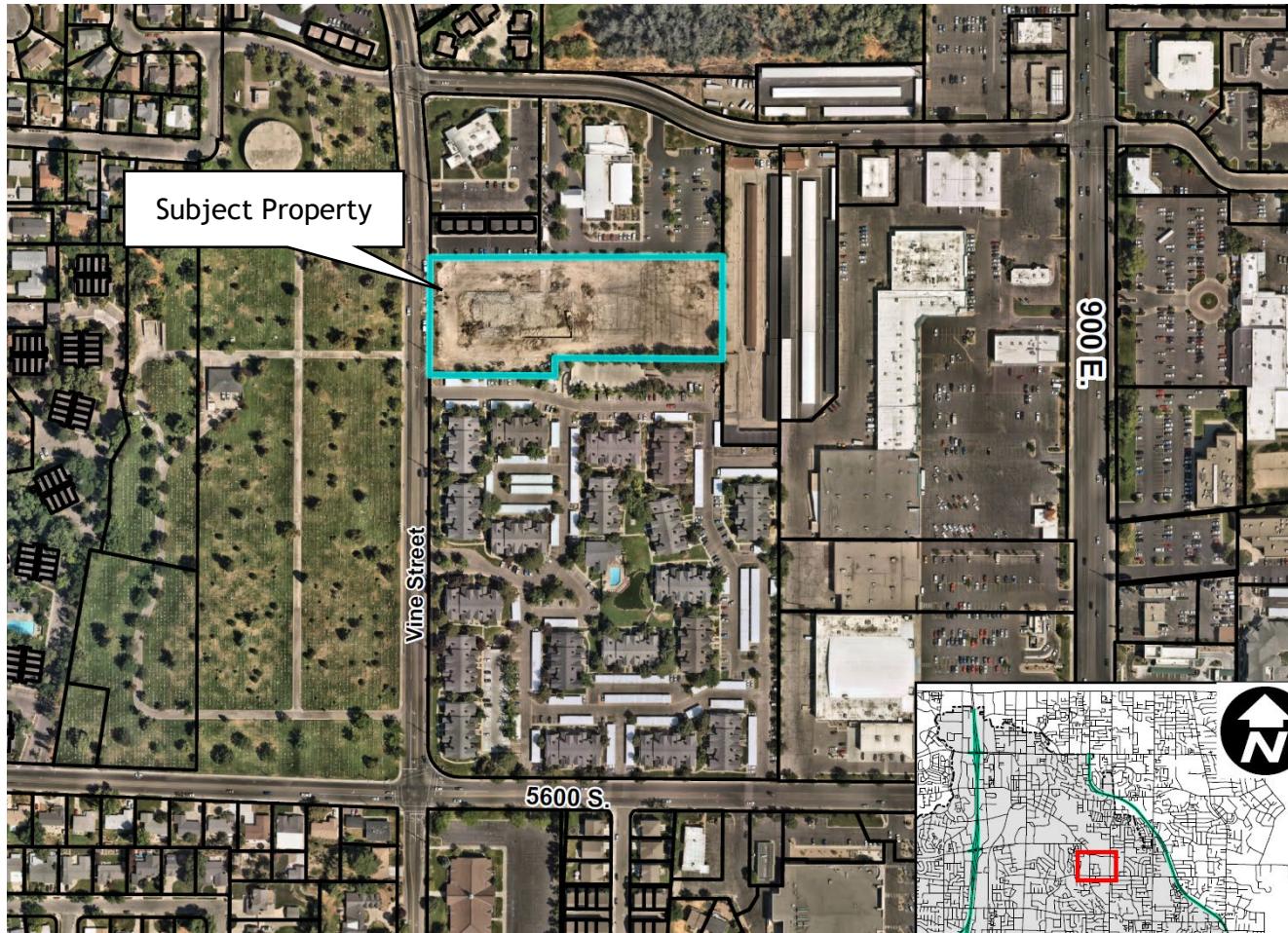
December 5th, 2024, 6:30 PM

The Murray City Planning Commission will hold a public hearing on Thursday, December 5, 2024, at 6:30 p.m. in the Murray City Municipal Council Chambers, located at 10 East 4800 South to receive public comment on the following applications made by **Brad Reynolds Construction** on the property generally addressed **5425 South Vine Street** (see attached plan):

- **Preliminary Subdivision approval for Villages on Vine and,**
- **Conditional Use Permit for a Planned Unit Development of 55 townhomes, on 3.5-acres. See attached plan.**

The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

Comments are limited to 3 minutes or less, written comments will be read into the meeting record.

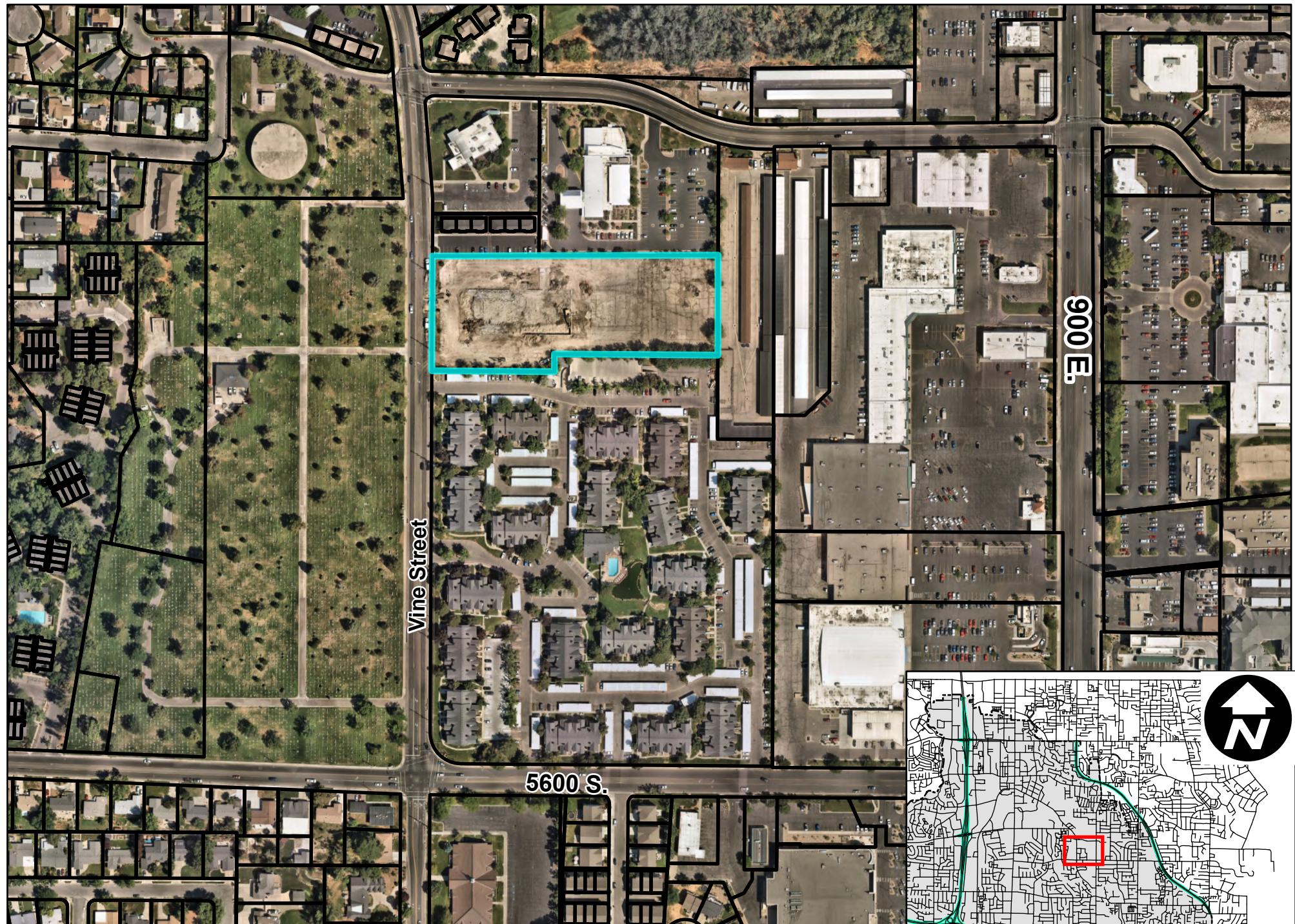


This notice is being sent to you because you own property within 450 feet of the subject property. If you have questions or comments concerning this proposal, please contact the planning division at planning@murray.utah.gov or call 801-270-2430

Public Notice Dated | September 05, 2024

Murray City Hall | 10 East 4800 South | Murray | Utah | 84107

5425 South Vine Street





Murray City Hall

10 East 4800 South

Murray, Utah 84107



811

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

Know what's below.
Call before you dig.

BENCHMARK

WITNESS CORNER FOR THE
NW CORNER SECTION 17
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
CENTER LINE VINE STREET

ELEV = 4331.33

GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT BE EXACT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIME.
- SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:

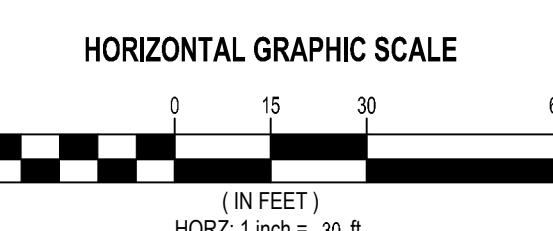
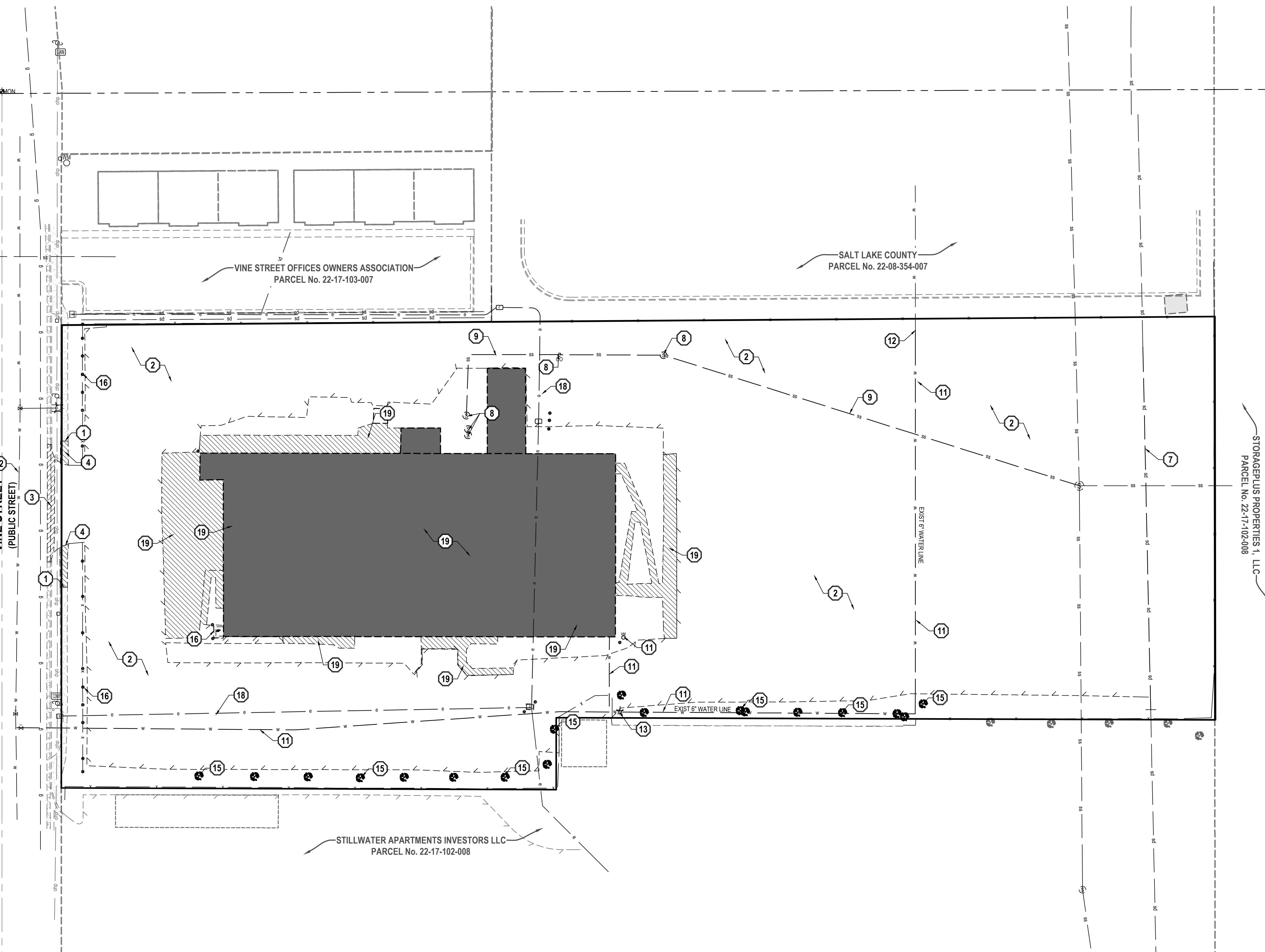
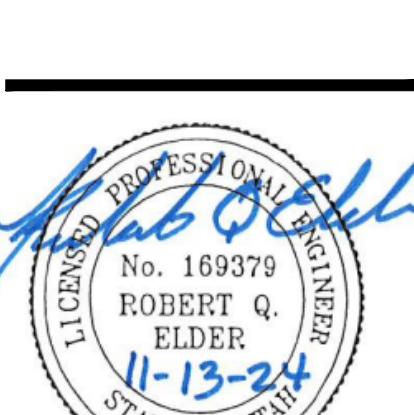
BRAD REYNOLDS
P.O. BOX 1798
SALT LAKE CITY, UTAH

CONTACT:

BRAD REYNOLDS
PHONE: 801.281.2200

**VILLAGES ON VINE
RESIDENTIAL DEVELOPMENT**

5425 S VINE STREET
MURRAY UTAH



DEMOLITION PLAN

PROJECT NUMBER 13115A PRINT DATE 2024-11-13
PROJECT MANAGER RQE DESIGNED BY BAC

C-100

811

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

Know what's below.
Call before you dig.

BENCHMARK

WITNESS CORNER FOR THE
NW CORNER SECTION 17
TOWNSHIP 2 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
CENTER LINE VINE STREET

ELEV = 4331.33

GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



THE STANDARD IN ENGINEERING

SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

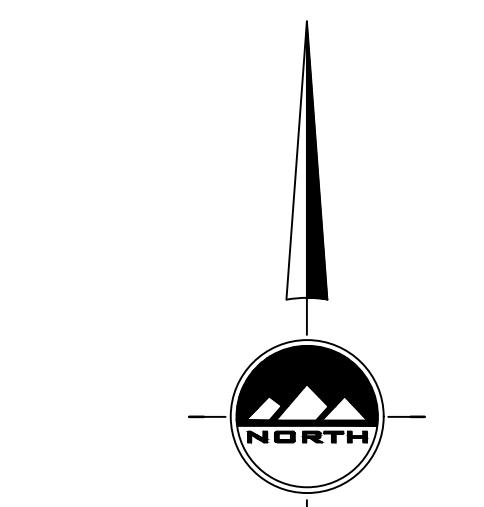
WWW.ENSIGNENG.COM

FOR:
BRAD REYNOLDS
P.O. BOX 17958
SALT LAKE CITY, UTAH

CONTACT:
BRAD REYNOLDS
PHONE: 801.281.2200

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	52,325	34%
LOT/BLDG	51,855	34%
LANDSCAPING/OPEN SPACE	48,173	32%
TOTAL SITE	152,350 3.5 ACRES	100%
UNITS WITH BASEMENTS	23	
SLAB ON GRADE UNITS	32	
TOTAL UNITS	55	
UNITS PER ACRE	15.7	
TOTAL STALLS PROVIDED		

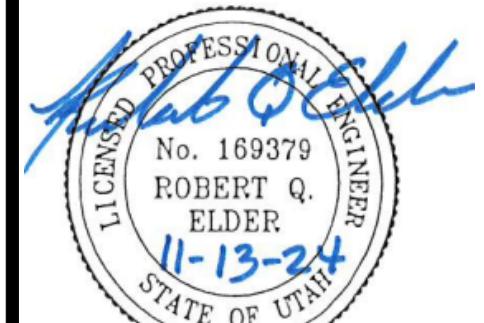
PARKING DATA TABLE	
STANDARD STALLS	12
ADA - ACCESSIBLE STALLS	1
UNIT PARKING - GARAGE	110
UNIT PARKING - DRIVEWAY	50
REQUIRED PARKING STALL (2.5 STALLS/UNIT)	138
TOTAL STALLS PROVIDED	173



HORIZONTAL GRAPHIC SCALE
30 0 15 30 60
(IN FEET)
HORZ: 1 inch = 30 ft.

VILLAGES ON VINE
RESIDENTIAL DEVELOPMENT

5425 S VINE STREET
MURRAY UTAH



OVERALL SITE PLAN

PROJECT NUMBER 13115A PRINT DATE 2024-11-13
PROJECT MANAGER RQE DESIGNED BY BAC

C-200

Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
○	Pole		5	ARCHITECTURAL AREA LIGHTING	FGL-RB-Y2-36LED-4K-600	FEDERAL GLOBE LARGE	1	5812	1	72.8	
○	portch		55	INTER-GLOBAL, INC - SAINT LOUIS, MO	S21SC-LE800C-SN	1-(22LED) 12W WALL MOUNT LUMINAIRE CLEAR ACRYLIC LENS OVER LEDS w/CLEAR ACRYLIC SIDE LENSES	1	617	1	13	

H.P.E. INC. ELECTRICAL ENGINEERS
POWER SYSTEMS, CONTROL & INSTRUMENTATION SYSTEMS
HEGERHORST POWER ENGINEERING INCORPORATED (801) 642-2051
708 EAST 50 SOUTH FAX (801) 642-2154
AMERICAN FORK, UT 84003 ©2024
H.P.E. PROJECT: 24-076
FOR INFORMATION ABOUT THIS JOB, PLEASE CONTACT: BEN SORENSEN



SANDY
45 W 10000 S, Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

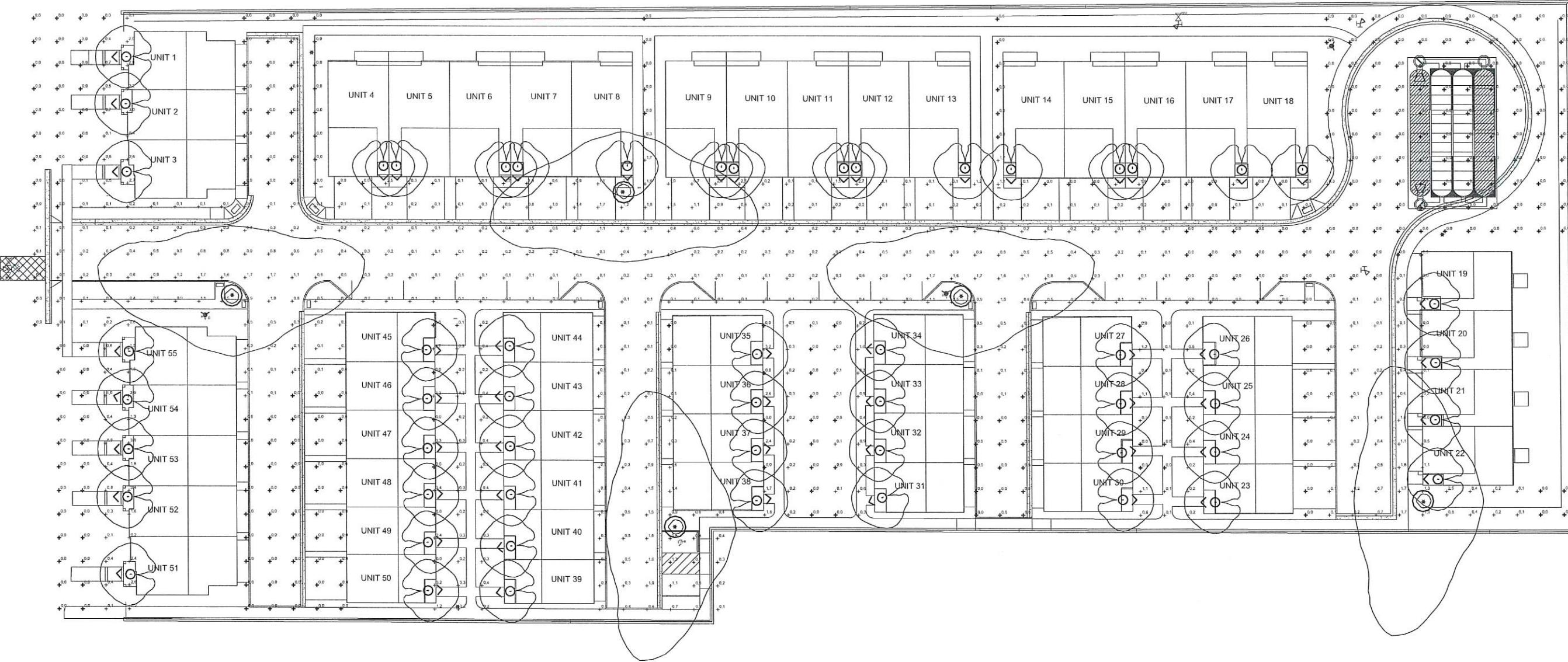
CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
JOHN MONSON
MONSON CONSTRUCTION
561 WEST 550 SOUTH
CONTACT:
SANDY, UTAH 84070
PHONE: (801) 256-0070

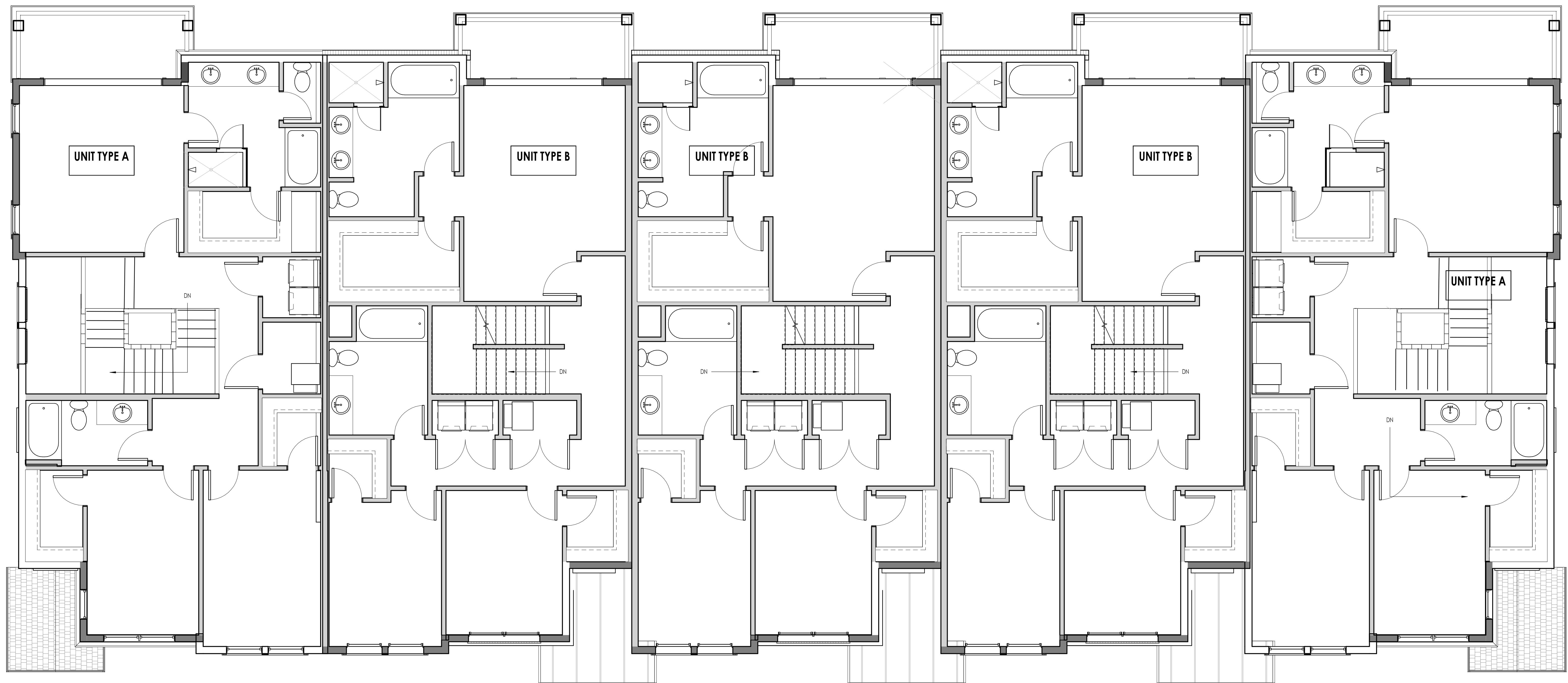
VILLAGES ON VINE





LEVEL 1 - PRESENTATION
1/4" = 1'-0"

1
D101



LEVEL 2 - PRESENTATION
1/4" = 1'-0"

1
D102



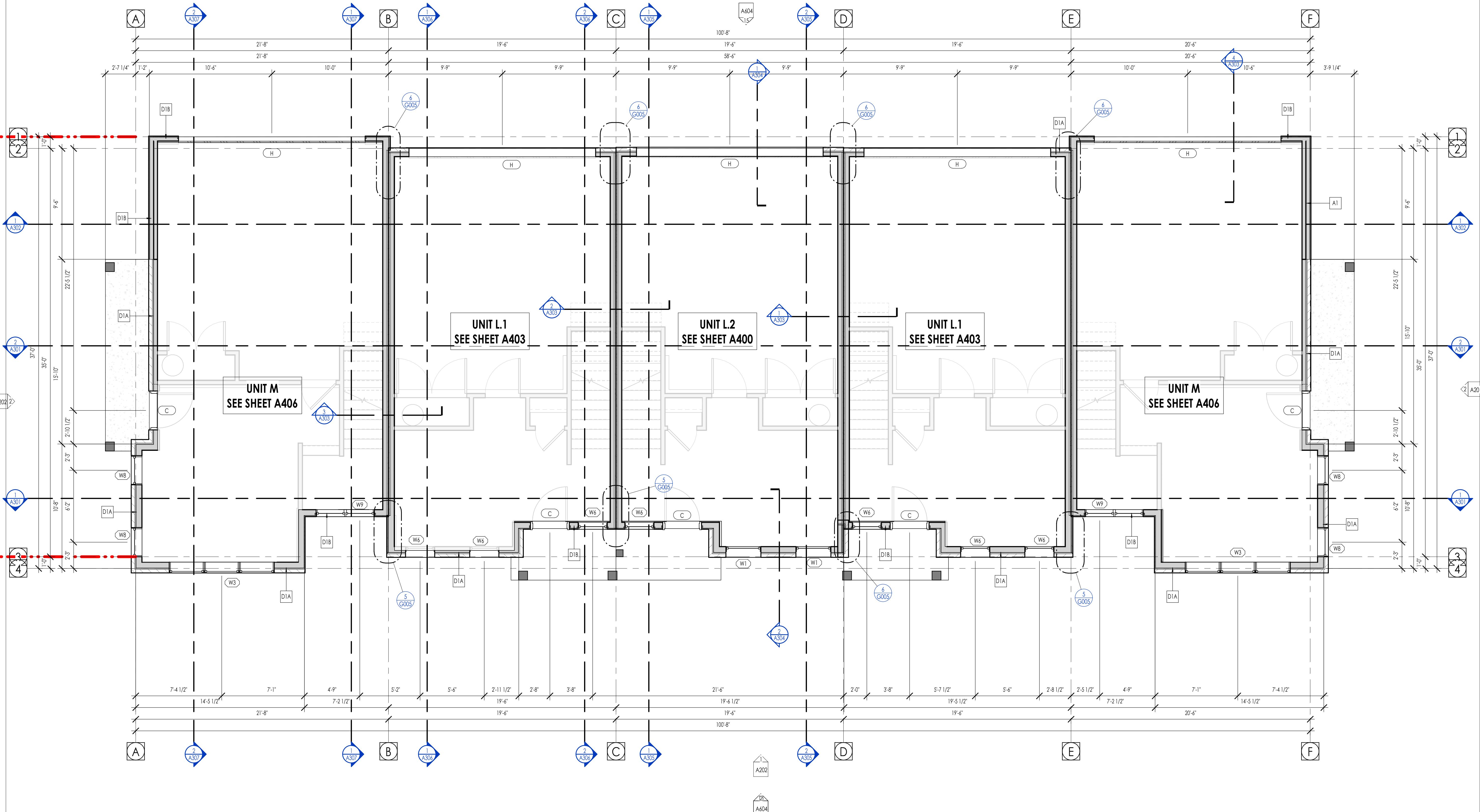
LEVEL 3 - PRESENTATION
1/4" = 1'-0"

1
0103

THE VILLAGES ON VINE TOWNHOMES

PROJECT NO. 23-025
DATE: 24 MAY, 2025

DRAWING STATUS
SHEET TITLE: LEVEL 1 FLOOR PLAN
SHEET NUMBER: A101
© 2022 THINK ARCHITECTURE INC.



FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
	POURED IN PLACE CONCRETE WALL		CMU BLOCK WALL
	STONE VENEER		METAL STUD WALL
	WOOD STUD WALL		EXTERIOR CONCRETE SLABS
			CARPET FINISH
			TILE FINISH
			EXTERIOR CONCRETE SLABS

FLOOR PLAN GENERAL NOTES	
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.	
2. CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTION	
3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.	
4. REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.	
5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.	
6. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.	
7. SEE SHEET A202 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.	
8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.	
9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES	
10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.	
11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.	
12. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.	
13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).	

FLOOR PLAN KEYNOTES	
	KEYNOTES



MURRAY CITY CORPORATION

COMMUNITY & ECONOMIC DEVELOPMENT

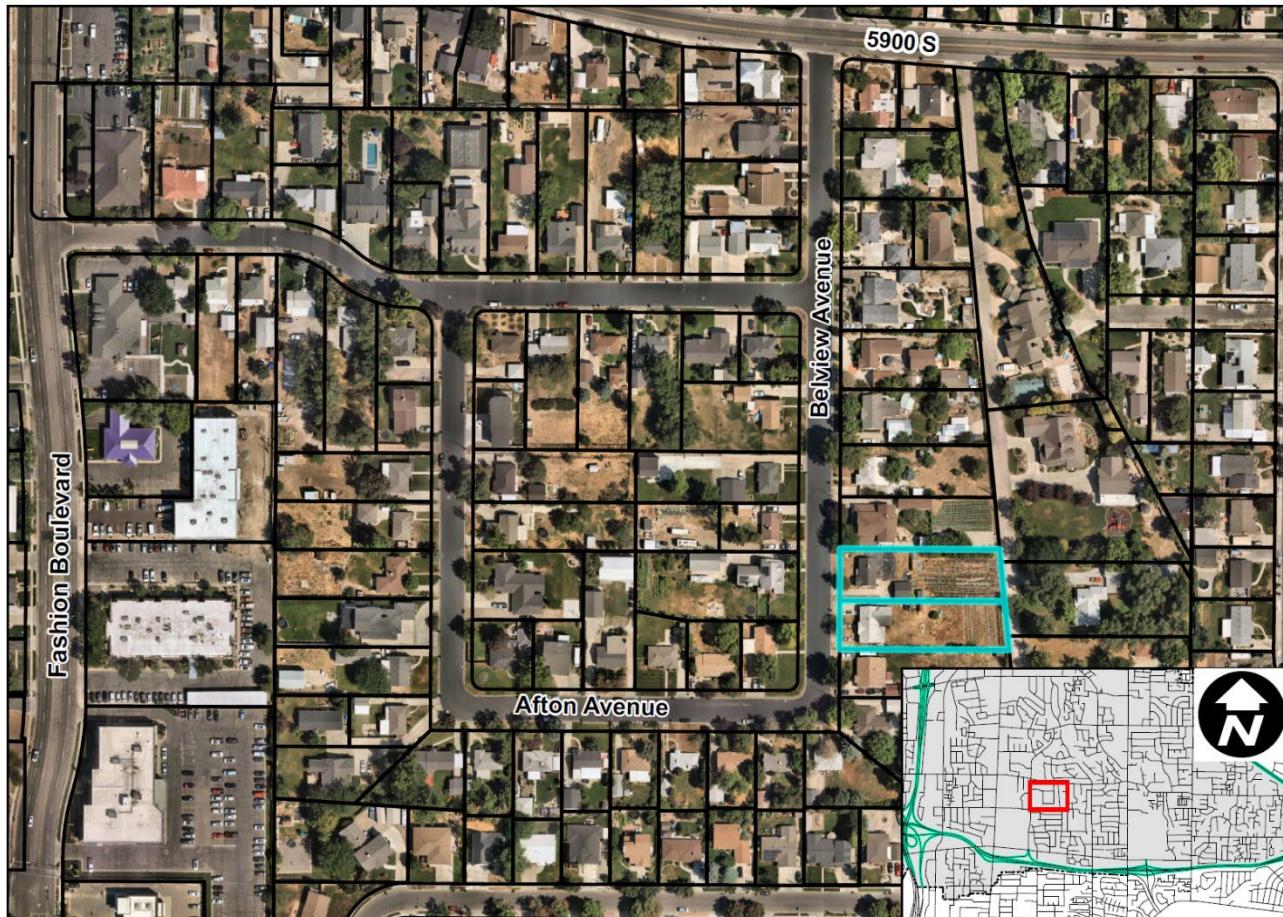
Building Division 801-270-2400

Planning Division 801-270-2430

AGENDA ITEM # 8

Murray Burton Acres Subdivision

ITEM TYPE:	Flag Lot Subdivision		
ADDRESS:	5991 & 6001 Belview Ave.	MEETING DATE:	December 5, 2024
APPLICANT:	Paul Dodge (Down Home LLC)	STAFF:	David Rodgers, Senior Planner
PARCEL ID:	21-18-453-029, 22-18-453-030	PROJECT NUMBER:	24-126
ZONE:	R-1-6, Medium Density Single Family		
SIZE:	0.79 acres		
REQUEST:	Preliminary and Final Flag Lot Subdivision approval for property in the R-1-6 Zone located at approximately 5991 & 6001 South Belview Avenue.		



I. LAND USE ORDINANCE

Section 16.04.040 of the Subdivision Ordinance requires that the Planning Commission as the Land Use Authority approve applications for the subdivision of land. It shall make investigations, reports, and recommendations on proposed subdivisions as to their conformance to the General Plan, Title 17, Land Use Ordinance of the Murray City Municipal Code, and other pertinent documents as it deems necessary.

“Flag Lot” Subdivision is the term applied to a subdivision of residential property where an existing, larger lot is split, and where the new lot may have a smaller access to the public right of way than would otherwise be allowed. This results in a lot shaped somewhat like a “flag”; with a larger area behind or to the rear (the flag) of a remaining conventional lot, and a narrower portion (the pole) extending to the public street. Flag lot subdivisions are often sought in cases like this, where the developed lot is large enough to split, but where frontage requirements will prevent creating lots that are side by side along the street.

II. BACKGROUND

Project Location

The subject property is located south of 5900 South, east of Belview Avenue in the R-1-6 Zone.

Surrounding Land Use and Zoning

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Single Family Residential	R-1-8
South	Single Family Residential	R-1-8
East	Single Family Residential	R-1-8
West	Single Family Residential	R-1-8

Project Description

The subject properties are two single family lots with a combined total of 0.79 acres. These lots used to have two existing homes oriented towards Belview Avenue, but these were recently demolished in anticipation of this flag lot subdivision.

The property was recently granted a rezone from R-1-8 low density single family residential to R-1-6 medium density single family residential in anticipation of this subdivision. Staff has reviewed the application to verify conformance to Title 16, Subdivisions, Chapter 17.76.140, Flag Lots, and Chapter 17.96, Single-Family Residential Medium Density District, R-1-6. Review of the relevant standards are provided below.

Subdivision Configuration

The proposed subdivision will split the existing property into four new lots:

- Lot 9A is proposed at 8,132 ft² (6,000 ft² excluding drive access and PUE) and will meet the requirements of the R-1-6 Zone while including the drive access for the rear lots.
- Lot 9B is proposed at 8,844 ft² exceeding the required 7,500 ft² as outlined in the Flag Lot Section of the Land Use Ordinance.
- Lot 10A is proposed at 8,131 ft² (6,000 ft² excluding drive access and PUE) and will meet the requirements of the R-1-6 Zone while including the drive access for the rear lots.
- Lot 10B is proposed at 9,366 ft² exceeding the required 7,500 ft² as outlined in the Flag Lot Section of the Land Use Ordinance.

R-1-6 Zone, Setbacks, Height, Lot Width

Section 17.96.090 describes setbacks for dwellings. Section D states that single-family structures which existed prior to April 7, 1987, shall meet a fifteen foot (15') rear yard setback. All new construction on the four lots will be required to meet the minimum setbacks and height allowances in the R-1-6 zone as stated below.

Front Yard setback: 20' minimum

Rear Yard setback: 25' minimum

Side Yard setback: 8' minimum, both side yards must total 18' minimum.

Height: 35' maximum

The proposed lots can accommodate new construction with appropriate setbacks as required.

Flag Lot Requirements

In addition to the requirements of the R-1-6 zone, the following are specific requirements for lots created by a flag lot subdivision:

- Lot Area: The proposed subdivision will result in four lots. Flag lot subdivision regulations require that the rear lot have an area 125% of the requirement of the zone in which the subdivision is located, exclusive of the "pole" or "stem" portion of the lot. The minimum lot area required in the R-1-6 zone is 6,000 square feet, making the required minimum lot size for the flag lot 7,500 square feet. The remaining lot must also meet or exceed the area requirement of the R-1-6 zone.

	Required Lot Size	Proposed Lot Size
Lot 9A	6,000 ft ²	8,132 ft ² (6,000 ft ² excluding drive access and PUE)
Lot 9B (Flag Lot)	7,500 ft ²	8,844 ft ²
Lot 10A	6,000 ft ²	8,131 ft ² (6,000 ft ² excluding drive access and PUE)
Lot 10B (Flag Lot)	7,500 ft ²	9,366 ft ²

- Access: Flag lots must have an access of at least 28 feet in width extending from the body of the lot to the public right-of-way. The access for the rear properties is an approximately thirty-one-foot (31') drive access across both Lot 9A and Lot 10 A. This will allow sufficient access to all four properties.

Public Utilities

Public utilities are available within Belview Avenue to serve the proposed subdivision. Utility easements have been indicated on the proposed plat for both lots as required by the City Engineer and Public Works Department.

III. LAND USE ORDINANCE STANDARDS REVIEW

Murray City Code Title 16 outlines the requirements for subdivision review. The Murray Planning Commission is required by State Code to conduct a public meeting and review all subdivisions of property within the City. Murray City Code Title 16, Subdivision Ordinance, outlines the requirements for subdivision review. Utah State Code (10-9a-604) states that a subdivision plat may not be recorded until approved by the land use authority of the City. The

Planning Commission's role as the land use authority is to ensure that a proposed subdivision is consistent with established ordinances, policies, and planning practices of the City. The Planning Commission makes investigations, reports, and recommendations on proposed subdivisions as to their conformance to the General Plan and Title 17 of City Code, and other pertinent documents as it deems necessary. The plat is then forwarded to the Salt Lake County Recorder's office for review and recording.

IV. CITY DEPARTMENT REVIEW

A Planning Review meeting was held November 19th, 2024, where the Flag Lot Subdivision application was reviewed by Murray City department staff. The following comments have been provided by the departments that were in attendance:

- The City Engineer recommends approval subject to the following conditions:
 - Meet City subdivision requirements and standards – City Code Title 16.
 - Address all engineering and survey review comments prior to printing the plat to mylar.
 - Provide grading, drainage, and utility plans – City Code Chapter 16.08.
 - Meet City storm drainage requirements, on-site retention is required – City Code Chapter 13.52.050
 - Provide standard front rear and side yard PUE's on lots – City Code Chapter 16.16.100.
 - Provide separate utilities to proposed lots.
 - Provide any required easements and vacate any unused easements within the proposed buildable areas and street - City Code Chapter 16.16.100.
 - Obtain a City Excavation Permit for work within City rights-of-ways – City Code Chapter 12.16.020.
- The Murray City Fire Department provided the following comment:
 - Fire Department access roads shall extend to within 150' of all portions of the Facility. (IFC)
- The Murray City Police Department recommended approval with no additional comments.
- The Murray City Wastewater Division provided the following comments:
 - Sewer lateral clean outs are required every 75FT. m Sewer clean outs in drivable/walkable service must include a triangular cast iron cover.
 - Please note on plan if using existing lateral for lot 9A & 10A, lateral will have to be TV with Murray inspector present to determine if it can be used. Existing lateral may have to be lined in order to be used for these lots.
 - Please note on the utility plan taps for lots 9B & 10B will be performed by Murray City Wastewater Division. A tapping fee of \$350 will be required for each tap.
 - Include all applicable details directly from Murray City Wastewater Specification book including the sewer trench detail.
 - <https://www.murray.utah.gov/DocumentCenter/View/14929/Revised-Wastewater-Spec-Book-2023>

- The Murray City Water Department recommends approval subject to the following:
 - Current water services serving the property is $\frac{3}{4}$ ". According to our ordinance you can reuse these services for two of the properties.
 - All water meter lids to be made of Polymer material. We are in the process of transitioning to an AMI system. Our specifications and requirements are being rewritten to reflect this.
 - All water utility work must follow Murray City Water Specification and Requirements
 - <https://murray.utah.gov/DocumentCenter/View/13884/Spec-Book-2023-Updated-4142023?bidId=>
- The Murray City Power Department provided the following comments:
 - When the time comes to build the new building(s), we will want to have an on-site meet to plan the new electrical service(s).
 - The developer must meet all Murray City Power Department requirements and the current NESC/NEC code and provide the required easement/ safety clearance(s) for equipment and Power lines.
 - Contractor to contact John Galanis 801-264-2723 for metering placement and requirements.

Other departments did not provide comments or express concerns requiring specific conditions for approval. The comments have been addressed as conditions of approval in the final section in this report.

V. PUBLIC INPUT

Forty-eight (48) notices of the public meeting were sent to affected entities and all property owners for parcels located within 300 feet of the subject property. As of the time of writing this report, staff has not received any comments.

VI. FINDINGS

Based on the analysis of the application, the materials provided and a survey of the surrounding area, staff concludes the following:

1. The proposed flag lot subdivision meets the requirements of Section 17.96 of the Murray City Land Use Ordinance.
2. The proposed flag lot subdivision meets the requirements of the applicable sections of Title 16, Subdivision Ordinance of the Murray City Code for the subdivision of land.
3. Section 17.76.140 (Flag Lots) allows flag lot subdivisions under conditions which are present in this application. The proposed subdivision adheres to the specific requirements for flag lot subdivisions in Section 17.76.140 of the Murray City Land Use Ordinance.
4. The proposed subdivision allows for a more efficient use of land which furthers the goals of the Murray City General Plan regarding stabilization of residential areas and providing increased housing options.

VII. CONCLUSION/RECOMMENDATION

Based on the information presented in this report, application materials submitted and a site review, staff recommends that the **Planning Commission GRANT preliminary and final subdivision approval for a Flag Lot Subdivision for the proposed Murray Burton Acres Subdivision located at 5991 & 6001 Belview Ave**, subject to the following conditions:

1. The applicant shall meet all requirements of the City Engineer, including the following:
 - a. Meet City subdivision requirements and standards – City Code Title 16.
 - b. Address all engineering and survey review comments prior to printing the plat to mylar.
 - c. Provide grading, drainage, and utility plans – City Code Chapter 16.08.
 - d. Meet City storm drainage requirements, on-site retention is required – City Code Chapter 13.52.050
 - e. Provide standard front rear and side yard PUE's on lots – City Code Chapter 16.16.100.
 - f. Provide separate utilities to proposed lots.
 - g. Provide any required easements and vacate any unused easements within the proposed buildable areas and street - City Code Chapter 16.16.100.
 - h. Obtain a City Excavation Permit for work within City rights-of-ways – City Code Chapter 12.16.020.
2. The applicant shall prepare a Final Subdivision Plat which complies with all requirements of Title 16, Murray City Subdivision Ordinance.
3. The applicant shall meet all requirements of the Murray City Water Department.
4. The applicant shall meet all requirements of the Murray City Wastewater Department.
5. The applicant shall meet all requirements of the Murray City Fire Department.
6. The applicant shall obtain building permits for any new construction on the property.
7. The Final Plat shall adhere to the requirements for Flag Lot Subdivisions contained in Section 17.76.140 of the Murray City Land Use Ordinance and as outlined in the Staff Report.
8. The applicant shall meet all applicable Building and Fire Codes.
9. The applicant shall provide complete plans, structural calculations and soils reports stamped and signed by the appropriate design professionals at the time of submittal for building permits.
10. The subdivision plat shall be recorded within one year of the final approval or the final plat shall be null and void.

FLAG LOT SUBDIVISION APPLICATION

Name of Proposed Subdivision: Murray Burton Acres Subdivision

Project Address: 5991 & 6001 Belview Ave. Murray City, Utah

Parcel Identification (Sidwell) Number: 22184530290000 & 22184530300000

Parcel Area(acres): 0.79 Zoning District: R-1-8 Total # of Lots: 4

Applicant Information

Name: Paul Dodge_(Down Home LLC)

Mailing Address: 5969 S. 450 E. City: Murray State: UT ZIP: 84107

Phone #: 801-673-6020 Fax #: N/A Email Address: paulwdodge@yahoo.com

Property Owner's Information (If different)

Name: _____

Mailing Address: _____ City: _____ State: _____ ZIP: _____

Phone #: _____ Fax #: _____ Email Address: _____

Licensed Engineer Information

Name: M. Chris Poulsen

Mailing Address: 9138 South State Street, #100 City: Sandy State: UT ZIP: 84070

Phone #: 801.542.7192 Fax #: N/A Email Address: chris@benchmarkcivil.com

Authorized Signature:  Date: 11/01/2024

For Office Use Only

Project Number: _____ Date Accepted: _____

Planner Assigned: _____

Property Owners Affidavit

I (we) _____, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application: that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon my personal knowledge.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

Subscribed and sworn to before me this _____ day of _____, 20_____.

Notary Public

Residing in _____

My commission expires: _____

Agent Authorization

I (we), _____, the owner(s) of the real property located at _____, in Murray City, Utah, do hereby appoint _____, as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize _____ to appear on my (our) behalf before any City board or commission considering this application.

Owner's Signature

Owner's Signature (co-owner if any)

State of Utah

§

County of Salt Lake

On the _____ day of _____, 20_____, personally appeared before me _____ the signer(s) of the above *Agent Authorization* who duly acknowledge to me that they executed the same.

Notary public

Residing in: _____

My commission expires: _____



NOTICE OF PUBLIC HEARING

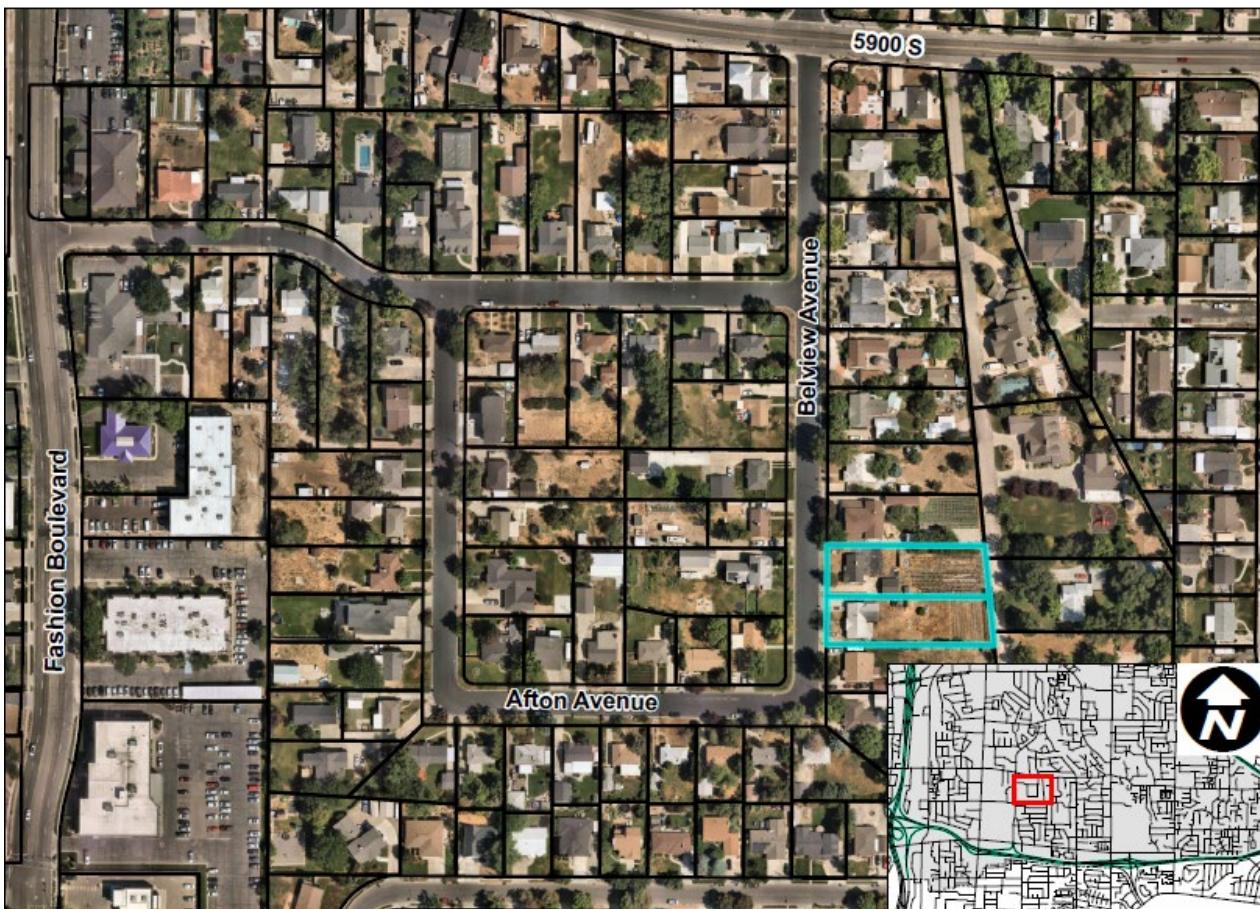
December 5th, 2024, 6:30 PM

The Murray City Planning Commission will hold a public meeting on Thursday, December 5th, at 6:30 p.m. in the Murray City Council Chambers, located at 10 East 4800 South to receive public comment on an application submitted by **Down Home LLC** for the properties located at **5991 & 6001 S. Belview Ave.**

The applicant is requesting approval for a Flag Lot subdivision.

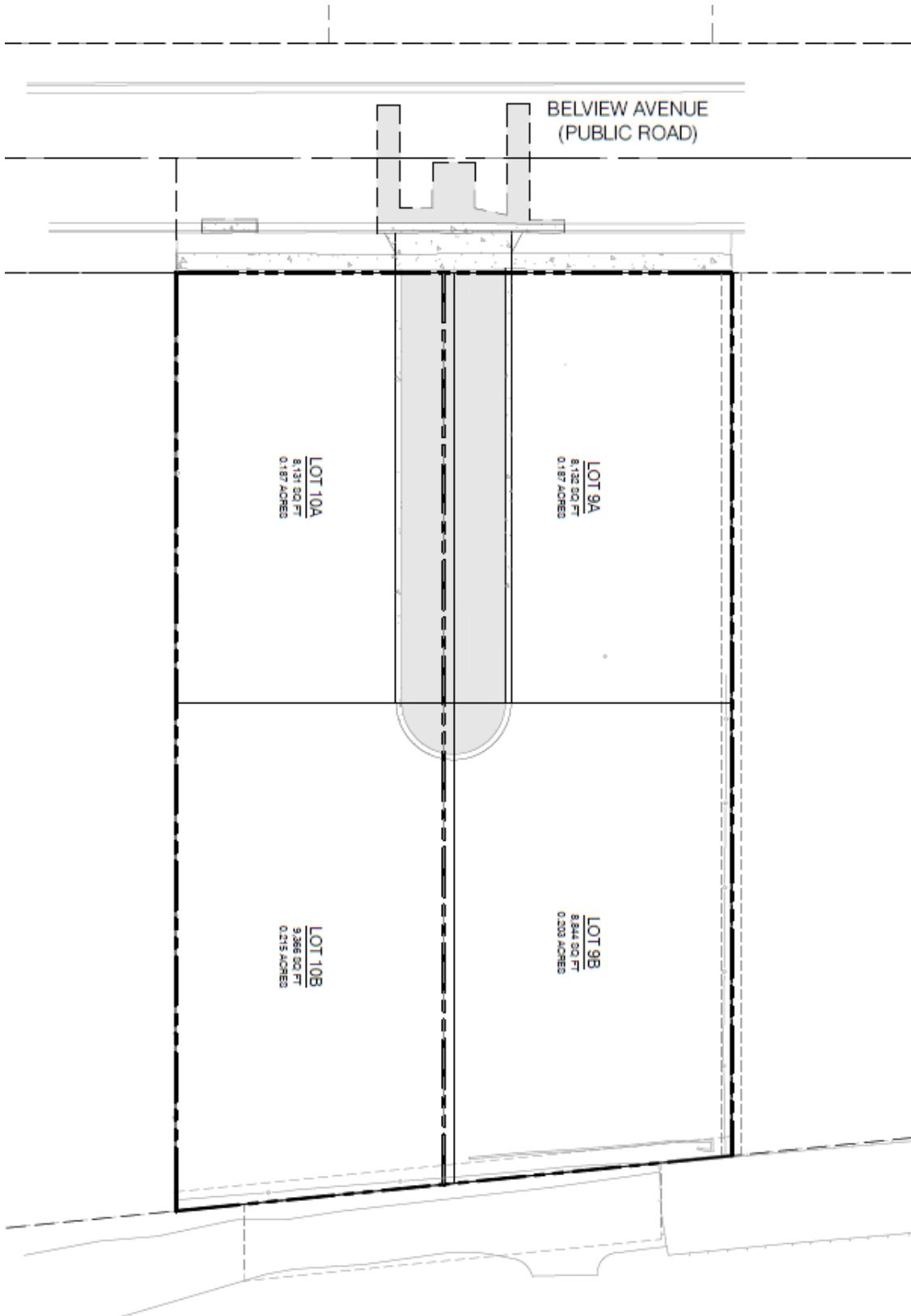
The meeting will be streamed online, at www.murraycitylive.com or www.facebook.com/MurrayCityUtah/.

Comments are limited to 3 minutes or less, written comments will be read into the meeting record.

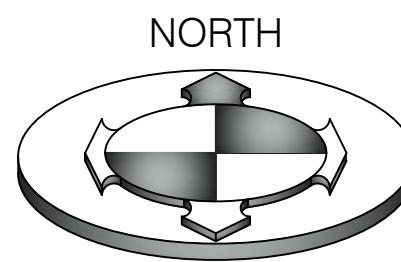


This notice is being sent to you because you own property within 300 feet of the subject property. If you have questions or comments concerning this proposal, please call the Murray City Planning Division at 801-270-2430, or e-mail to planningcommission@murray.utah.gov.

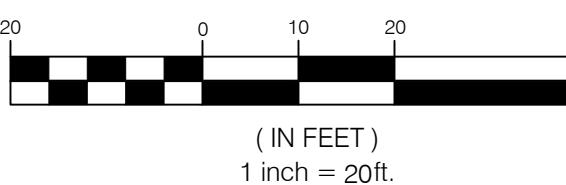
Special accommodations for the hearing or visually impaired will be upon a request to the office of the Murray City Recorder (801-264-2660). We would appreciate notification two working days prior to the meeting. TTY is Relay Utah at #711.



MURRAY BURTON ACRES SUBDIVISION

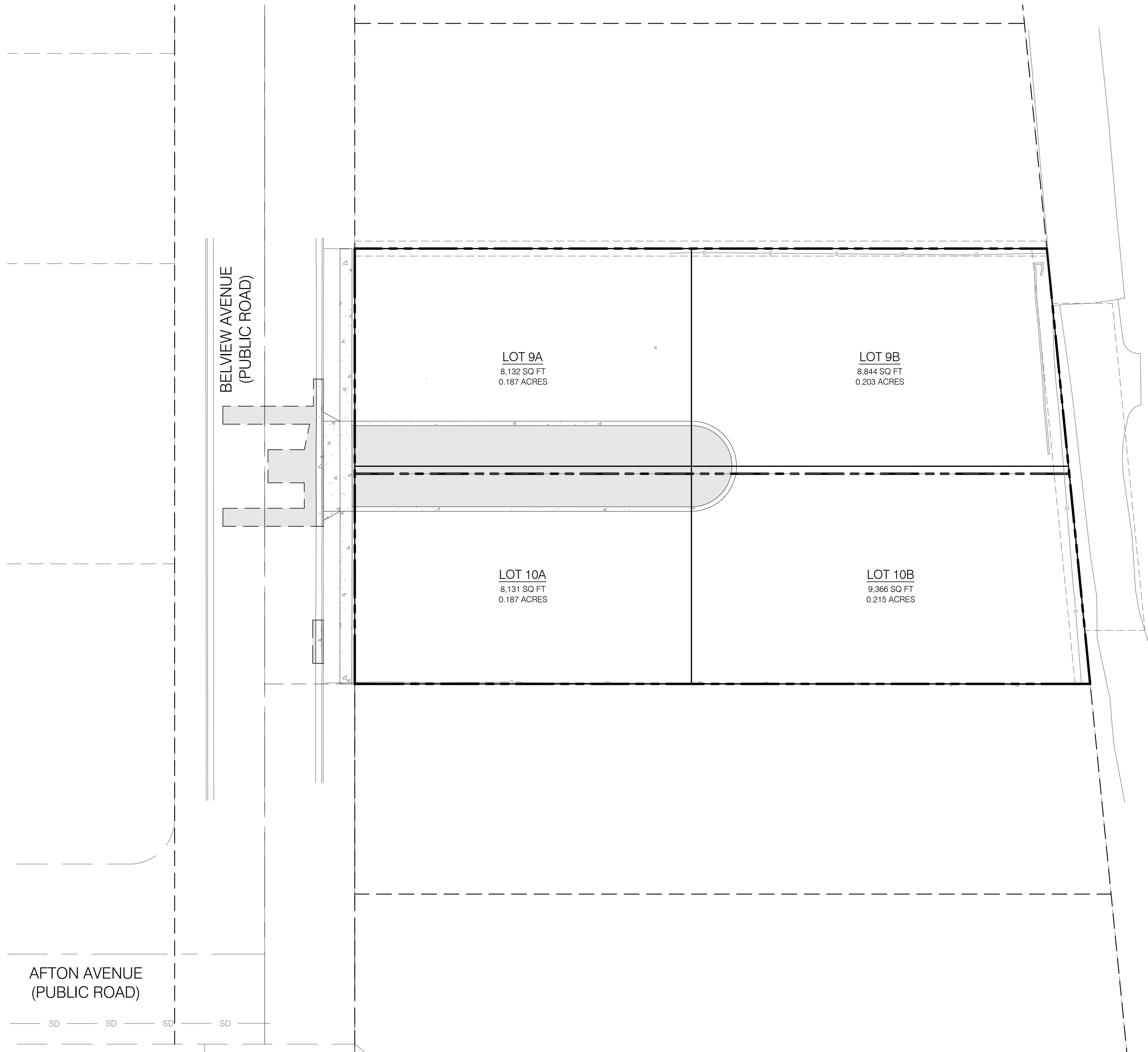


GRAPHIC SCALE



AMENDING LOTS 9 & 10

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 18,
TOWNSHIP 2 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
5991 & 6001 BELVIEW AVE
MURRAY CITY, SALT LAKE COUNTY, UTAH



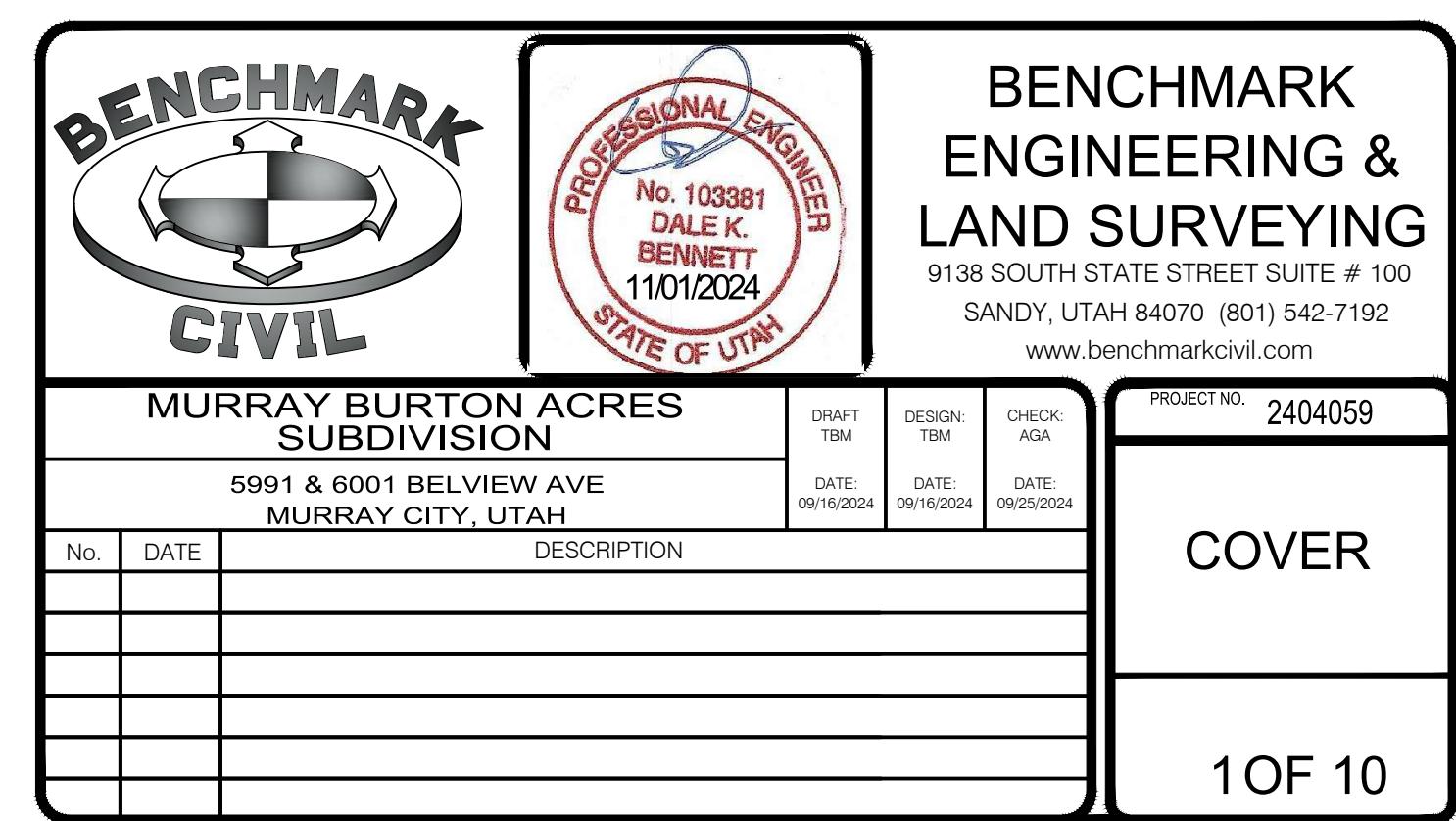
VICINITY MAP N.T.S.

OWNER/DEVELOPER:
DOWN HOME LLC
PAUL DODGE
801-673-6020
tholencustomhomes@gmail.com

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CDT.01	DEMOLITION PLAN
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

FOR REVIEW ONLY
NOT FOR CONSTRUCTION



LINETYPES:

NEW	EXISTING
SECTION LINE	SECTION LINE
PROPERTY LINE	PROPERTY LINE
ADJACENT PL OR LOT LINES	ADJACENT PL OR LOT LINES
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
CENTERLINE OF ROAD	CENTERLINE OF ROAD
EASEMENT LINE	EASEMENT LINE
CURB & GUTTER	CURB & GUTTER
EDGE OF ASPHALT	EDGE OF ASPHALT
FENCE / WALL, STONE	FENCE / WALL, STONE
FENCE, BLOCK	FENCE, BLOCK
FENCE, BRICK	FENCE, BRICK
FENCE, CHAIN	FENCE, CHAIN
FENCE, IRON	FENCE, IRON
FENCE, VINYL	FENCE, VINYL
FENCE, WIRE	FENCE, WIRE
FENCE, WOOD	FENCE, WOOD
INDEX CONTOUR LINE	INDEX CONTOUR LINE
INTERMEDIATE CONTOUR LINE	INTERMEDIATE CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
SANITARY SEWER LINE	SANITARY SEWER LINE
STORM DRAIN LINE	STORM DRAIN LINE
WATER LINE	WATER LINE
IRRIGATION LINE	IRRIGATION LINE
OVERHEAD POWER LINE	OVERHEAD POWER LINE
UNDERGROUND POWER LINE	UNDERGROUND POWER LINE
GAS LINE	GAS LINE
TELEPHONE LINE	TELEPHONE LINE
CABLE TELEVISION LINE	CABLE TELEVISION LINE
DRAINAGE / DITCH CENTERLINE	DRAINAGE / DITCH CENTERLINE
TREE LINE EDGE	TREE LINE EDGE
FIBER OPTIC LINE	FIBER OPTIC LINE
PROPOSED ASPHALT	PROPOSED ASPHALT
PROPOSED CONCRETE	PROPOSED CONCRETE

SYMBOLS:

NEW	EXISTING
SECTION CORNER (FOUND)	SECTION CORNER (NOT FOUND)
PROPERTY LINE	PROPERTY LINE
STREET MONUMENT (FOUND)	STREET MONUMENT (NOT FOUND)
CENTERLINE OF ROAD	CENTERLINE OF ROAD
EASEMENT LINE	EASEMENT LINE
CURB & GUTTER	CURB & GUTTER
EDGE OF ASPHALT	EDGE OF ASPHALT
FENCE / WALL, STONE	FENCE / WALL, STONE
FENCE, BLOCK	FENCE, BLOCK
FENCE, BRICK	FENCE, BRICK
FENCE, CHAIN	FENCE, CHAIN
FENCE, IRON	FENCE, IRON
FENCE, VINYL	FENCE, VINYL
FENCE, WIRE	FENCE, WIRE
FENCE, WOOD	FENCE, WOOD
INDEX CONTOUR LINE	INDEX CONTOUR LINE
INTERMEDIATE CONTOUR LINE	INTERMEDIATE CONTOUR LINE
SPOT ELEVATION	SPOT ELEVATION
SANITARY SEWER LINE	SANITARY SEWER LINE
STORM DRAIN LINE	STORM DRAIN LINE
WATER LINE	WATER LINE
IRRIGATION LINE	IRRIGATION LINE
OVERHEAD POWER LINE	OVERHEAD POWER LINE
UNDERGROUND POWER LINE	UNDERGROUND POWER LINE
GAS LINE	GAS LINE
TELEPHONE LINE	TELEPHONE LINE
CABLE TELEVISION LINE	CABLE TELEVISION LINE
DRAINAGE / DITCH CENTERLINE	DRAINAGE / DITCH CENTERLINE
TREE LINE EDGE	TREE LINE EDGE
FIBER OPTIC LINE	FIBER OPTIC LINE
PROPOSED ASPHALT	PROPOSED ASPHALT
PROPOSED CONCRETE	PROPOSED CONCRETE

GENERAL

- ALL MATERIALS AND CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.
- CONTRACTOR AND APPLICABLE SUBCONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND PERIODIC PROGRESS MEETINGS. PRIOR TO ANY WORK BEING PERFORMED, THE CONTRACTOR SHALL CONTACT RESPONSIBLE DISTRICT OR AGENCY FOR A PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE PROJECT CONTACTS (48) HOURS IN ADVANCE OF SAID MEETING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC SAFETY AND OSHA STANDARDS.
- THE CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE PLANS, THE GEOLOGY REPORTS AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL INSPECT THE SITE OF WORK PRIOR TO BIDDING TO SATISFY THEMSELVES PERSONALLY OR IN SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.
- CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEM BID.
- SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE READ AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REFER TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE. THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.
- THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE READ AND ARE RELYING ON OWNER OR ENGINEER FOR UNQUALIFIED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.
- ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2017 EDITION AND THE MANUAL OF STANDARDS PLANS 2017 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBORDINATE TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.
- THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT THE PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.
- THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND UNUSUAL CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE UNUSUAL CONSTRUCTION CONDITIONS. CONTRACTOR SHALL BE AWARE OF THE ENVIRONMENT, NEIGHBORHOODS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH REGULARS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAY EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHT-OF-WAY OR EASEMENTS FROM THE CITY AND/OR UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMUNICATING THE WORK, OR AS REQUIRED BY SAID PERMITS.
- CONCRETE PLACEMENTS SHALL BE CONTINUOUS BETWEEN CONSTRUCTION JOINTS. CONTRACTION JOINTS SHALL BE PLACED FOR SLAB-ON-GRADE SUCH THAT THE MAXIMUM DISTANCE BETWEEN JOINTS IS 20 FEET IN EITHER DIRECTION FOR LIGHT DUTY TRAFFIC AND 12 FEET IN EITHER DIRECTION FOR HEAVY DUTY TRAFFIC.
- IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THE TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR ADDITIONAL INFORMATION REGARDING ANY DISCREPANCIES AND AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHARGES MADE WITHOUT PROPER WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER.
- ALL WORK OUTSIDE THE SCOPE OF THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RESPONSIBLE DESIGN PLANS TO NOT REPLACE ANY STRUCTURAL, ARCHITECTURAL, OR MECHANICAL PLANS. SHOULD A DISCREPANCY ARISE BETWEEN THESE PLANS AND ANOTHER PLAN SET, THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT BOTH PARTIES TO DETERMINE WHAT SHOULD BE CONSTRUCTED.
- ALL STAIRS AND RAILINGS ARE DESIGNED BY OTHERS AND MUST COMPLY WITH THE ADA STANDARDS FOR ACCESSIBLE DESIGN. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBORDINATE TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED. UNDER CONTRACT, ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER. ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE FOR THE CONTRACTOR. IF THE CONTRACTOR REMOVES EXISTING IMPROVEMENTS WHICH HAVE BEEN CONSTRUCTED AND ALREADY BEEN CONSTRUCTED, THERE WILL BE NO EXTRA COST RECHARGE FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF THE LUMP SUM CLEAUP COST OR TO BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL, AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRINGS; CONCRETE FORMS; AND OTHER CONSTRUCTION MATERIALS. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATION REDLINES AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY LOCAL, COUNTY, STATE, AND INDIVIDUAL UTILITY CODES.
- ALL UTILITIES INSTALLED IN ACCORDANCE WITH THE RESPONSIBLE DISTRICTS OR AGENCIES STANDARDS AND SPECIFICATIONS.
- COORDINATE ALL SERVICE LATERAL AND BUILDING CONNECTIONS WITH CORRESPONDING ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS FOR LOCATION AND ELEVATION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED.
- ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE TO BE PRECAST CONCRETE FROM APPROVED LOCAL MANUFACTURER UNLESS OTHERWISE NOTED, AND COMPLY WITH CITY/COUNTY STANDARD.
- ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR, ADS HDPE PIPE OR EQUAL UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.
- ALL GAS LINES TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.
- ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO - FUSION TECHNOLOGY.
- ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.
- NO GROUNDWATER OR DEBRIS IS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE AND SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.
- PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.
- ACTUAL CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED PRIOR TO THE COMPLETION OF STERILIZATION AND TESTING OF NEW WATER LINES. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF THE CITY/COUNTY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE, INSPECTED, TESTED, AND APPROVED BY AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, AND STREET PAVING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY COMPANIES FOR THE INSTALLATION OF ALL NEW AND REMOVAL, RELOCATION, AND/OR BURIAL OF ALL EXISTING DRY UTILITIES INCLUDES POWER, WATER, GAS, AND TELEPHONE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE UTILITY COMPANIES FOR THE REMOVAL OR RELOCATION OF THE EXISTING UTILITY WITH THE RESPONSIBLE DISTRICT OR AGENCY. ALL WORK FOR DRY UTILITIES SHALL BE COORDINATED WITH AND COMPLETED TO THE STANDARDS AND REQUIREMENTS OF THE RESPONSIBLE DISTRICT OR AGENCY.

CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING THE EXACT LOCATION OR ELEVATION FOR THE EXISTING UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

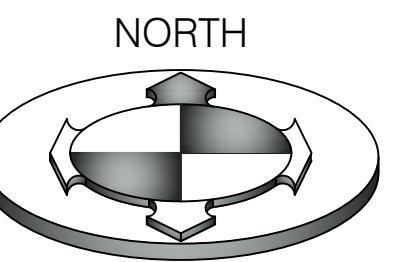
THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORK HOURS, AND THE CONTRACTOR SHALL DEFEND, HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REGULAR OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

NOTES:

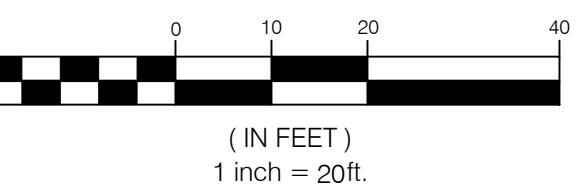
IN THE EVENT THAT THE CONSTRUCTION NOTES CONFLICT WITH RESPONSIBLE DISTRICT OR AGENCY STANDARDS NOTES AND SPECIFICATIONS, THE DISTRICT OR AGENCY STANDARD NOTES AND SPECIFICATIONS GOVERN.

SEWER

- ALL SEWER LINE TO BE FLUSHED, PRESSURE TESTED TO 5 PSI VIDEO INSPECTED AND OTHERWISE TESTED IN ACCORDANCE WITH DISTRICT STANDARDS PRIOR TO PLACING IN SERVICE.
- ALL SEWER LINES ARE TO BE SDR-35 PVC PIPE.
- SEWER MANHOLES, LATERALS AND CLEAUPOTS TO BE INSTALLED PER RESPONSIBLE DISTRICT OR AGENCY STANDARDS. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN. THE CLEAUPOT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.
- SEWER CLEANOUTS MUST BE INSTALLED AT A MINIMUM OF EVERY 50 LF. FOR 4 INCH Ø LATERALS AND EVERY 100 LF. FOR 6 INCH Ø LATERALS, OR PER THE RESPONSIBLE DISTRICT OR AGENCY STANDARDS, WHICHEVER IS MORE FREQUENT.
- A SEWER CLEANOUT MUST BE INSTALLED 5 LF. TO 10 LF. FROM ANY PROPOSED STRUCTURE, OR PER THE RESPONSIBLE DISTRICT OR AGENCY STANDARDS.
- ALL SEWER LATERAL BENDS AND ANGLES TO BE INSTALLED AS SWEEPING BENDS WITH SEWER CLEANOUTS.
- DURING CONSTRUCTION OF THE SEWERLINE, WYES NEED TO BE INSTALLED FOR THE LATERALS. LATERALS ARE 4" AND NEED TO COME IN AT THE TOP OF THE PIPE WITH A WYE. (SEE RESPONSIBLE DISTRICT OR AGENCY STANDARDS)
- IT IS THE INTENT ON THESE PLANS THAT ALL SEWER PIPES SHALL SLOPE TO AN EXISTING SEWER CONNECTION VIA GRAVITY FLOW. CONTRACTOR TO START AT THE LOW END OF GRAVITY LINES AND VERIFY THAT ALL INLET ELEVATIONS PROVE SLOPE TO EXISTING CONNECTION VIA GRAVITY. SLOPES MUST MEET OR EXCEED THE SEWER DISTRICT'S MINIMUM STANDARDS. NOTIFY ENGINEER IF THERE ARE DISCREPANCIES THAT WOULD CAUSE THE SEWER UTILITY NOT TO DRAIN VIA GRAVITY ON THE SITE.
- WATER
- WATERLINES TO BE PVC C-900. WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS CROSSINGS SHALI MEET STATE WATER STANDARDS. (MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18' VERTICAL OR 10 FEET HORIZONTAL SEPARATION FROM SEWERLINE)
- ALL WATERLINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED.
- WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE, COPR, STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE.
- ALL WATERLINES SHALL BE 4' BELOW GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE CILAR IN PAVED AREAS. ALL WATER LINES SHALL BE LOOED AROUND GRAVITY LINES OR ROPED PER RESPONSIBLE DISTRICT OR AGENCY INSPECTOR.
- CONTRACTOR TO NOTIFY RESPONSIBLE DISTRICT OR AGENCY FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HRS. MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MANLINE VALUES, CHLORINATION, FLUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH RESPONSIBLE DISTRICT OR AGENCY. ALL TESTS TO BE PERFORMED BY THE CONTRACTOR.
- BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4 INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET RESPONSIBLE DISTRICT OR AGENCY STANDARDS, UNLESS OTHERWISE NOTED ON PLANS.
- EXISTING UTILITIES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN OR NOT SHOWN. THE INFORMATION SHOWN ON THE PLANS IS FOR THE CONTRACTOR'S INFORMATION ONLY. THE CONTRACTOR SHALL NOT RELY ON THE INFORMATION, OR RECORD INFORMATION, NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE FACILITIES SHOWN AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. PRIOR TO CONSTRUCTION OR FABRICATION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND TO NOTIFY THE APPROPRIATE UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER IRRIGATION, GAS, ELECTRIC, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES. SO, THAT THE EXACT LOCATION, ELEVATION, MATERIAL, ETC. CAN BE VERIFIED AND DOCUMENTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS INFORMATION. THE CONTRACTOR SHALL NOT CHARGE THE LUMP SUM CLEAUP COST OR TO BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY THE BLUE STAKES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL REQUEST THE BLUE STAKES ORDER NUMBER AND FURNISH THE CONTRACTOR WITH THE INFORMATION. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY OF THE EXCAVATION AND THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY OF THE EXCAVATION. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- ALL MANHOLE RIMS, LAMPHOLES, VALVE BOX COVERS, MONUMENT BOXES AND CATCH BASIN GRATES ARE TO BE ADJUSTED TO FIT THE FINISHED GRADE AFTER PAVING, UNLESS OTHERWISE NOTED. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL PIPES, WALLS, ETC. ARE ADEQUATELY BRACED DURING CONSTRUCTION.
- CLEARING AND GRADING
- CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH APWA 2017 STANDARD DRAWINGS AND STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.
- THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.
- SUBSOIL INVESTIGATIONS MUST BE CONDUCTED AT THE SITE OF THE WORK. ALL FOOTING, FOUNDATION OR STRUCTURAL WALL CONSTRUCTION MUST ADHERE TO THE RECOMMENDATIONS DETAILED BY THE PROFESSIONAL REPORT OF THESE INVESTIGATIONS, CREATED BY A LICENSED GEOTECHNICAL ENGINEER.
- SOIL INVESTIGATIONS MUST BE CONDUCTED BY A LICENSED GEOTECHNICAL ENGINEER FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH PROJECTION OF SOIL CONDITIONS, AND THE CONTRACTOR SHALL NOT RELY ON THE DATA FOR DESIGN PURPOSES. THE CONTRACTOR SHALL NOT RELY ON THE DATA FOR DESIGN PURPOSES, AND OTHER LOCATIONS ON THE SITE OF THE WORK. SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.
- ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT SECTION FOR TOP OF SUB GRADE ELEVATIONS.
- IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.
- UNFIT SOILS MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC., SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER AND/OR ENGINEERING GEOLOGIST, WHERE EMPLOYED, FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES.
- NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY OWNER.
- THE EXISTING TOPOGRAPHY ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY BENCHMARK ENGINEERING AND LAND SURVEYING ON 06/04/2024 AND HAVE BEEN MODIFIED SINCE THIS SURVEY WAS PERFORMED.
- FILLS IN EXCESS OF 4 FEET IN THICKNESS AND BEYOND ALL FOUNDATIONS OR PAVEMENT SECTIONS SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1575 COMPACTION CRITERIA. ALL OTHER STRUCTURAL FILL LESS THAN 4 FEET IN THICKNESS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE ABOVE CRITERIA. REFERENCE THE GEOTECHNICAL REPORT.
- COMPACTATION TESTING WILL BE ACCOMPLISHED BY THE CONTRACTOR, OR THE CONTRACTOR WILL HAVE SUCH TESTING ACCOMPLISHED BY A SEPARATE CONTRACTOR. TEST RESULTS WILL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS AFTER TEST.
- CONTRACTOR TO SUBMIT PROCTOR AND/OR MARSHALL TEST DATA 24 HOURS PRIOR TO COMPACTATION TESTS.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON PLANS.
- CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL. ALL SLOPES IN ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER FACILITIES SHALL BE GRADED NO STEEPER THAN 2 TO 1 FOR CUT AND FILL.
- GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS AND PAVEMENT AREAS WHICH ARE NOT INSTALLED PER PLAN MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
- WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY. PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSE SURVEYOR VERIFY THE LOCATION AND LOCATION OF THE EXISTING HARDCAPE TIE-INS AS WELL AS THE CROSS SLOPE TO THE CURB AND GUTTER FORMS. PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSE SURVEYOR VERIFY THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL NOT PLACEMENT OF CONCRETE UNTIL THE SURVEYOR HAS MADE THE NECESSARY ADJUSTMENTS TO THE FORMS



GRAPHIC SCALE

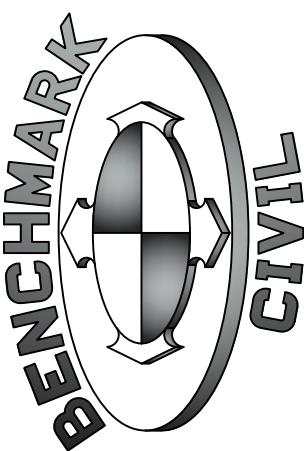


DRAWN BY	TBM	No.	DATE	DESCRIPTION
CHECKED BY	AGA			
FIELD CHECK	KOFG			
DATE	09/25/2024			
DRIVE FILE	2404059	SITE		
U.S.	0			

SCALE MEASURES 1/INCH ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

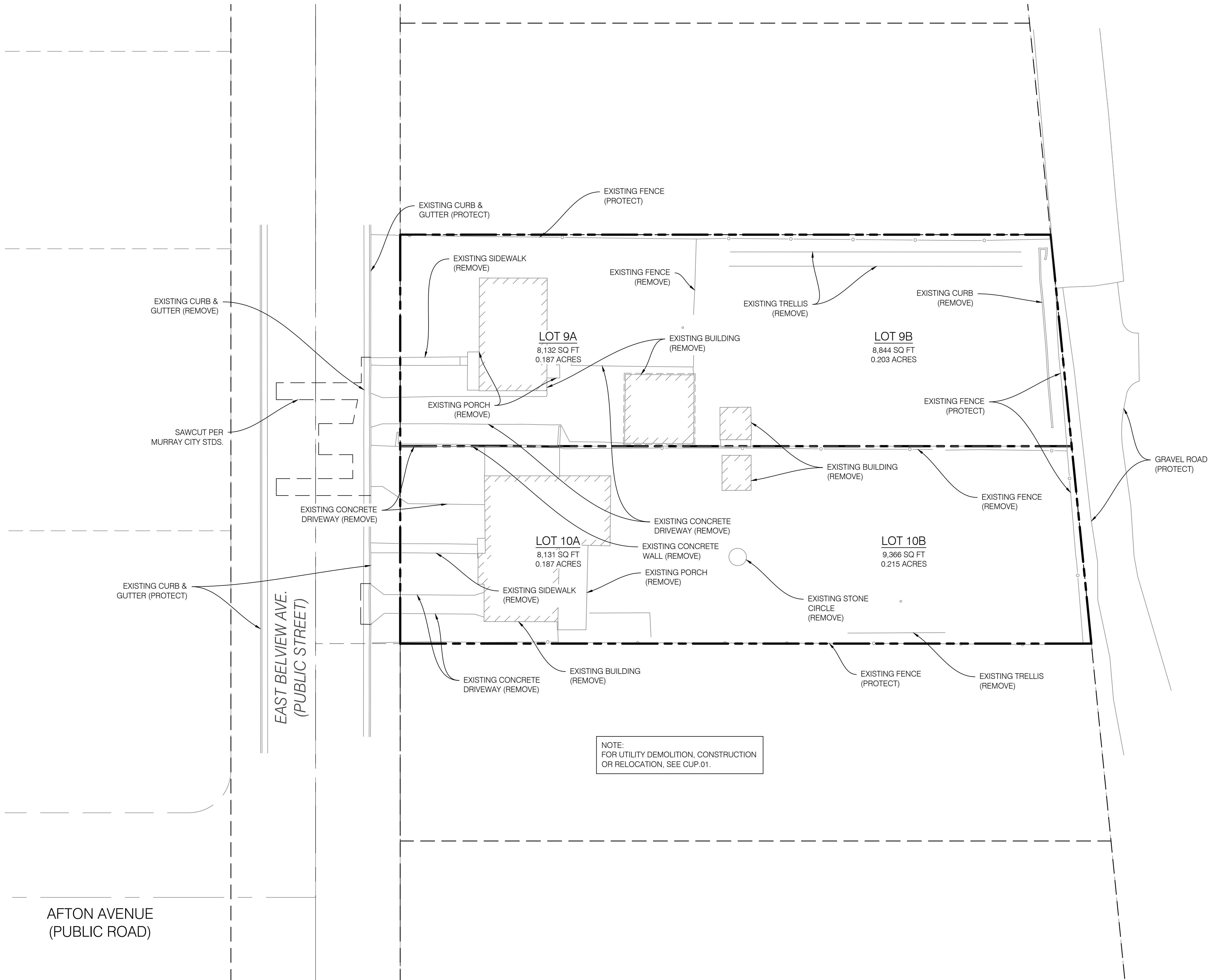


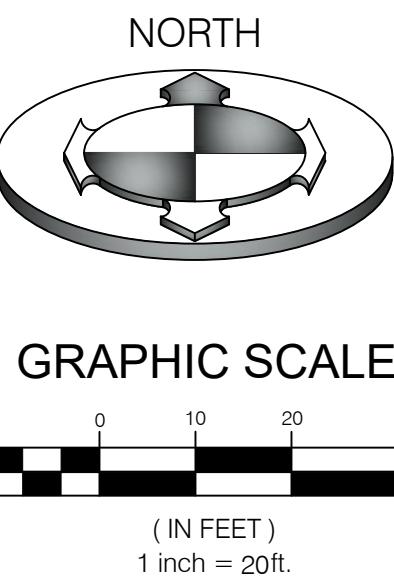
BENCHMARK
ENGINEERING &
LAND SURVEYING
9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 442-7192
www.benchmarkcivil.com



MURRAY BURTON ACRES
SUBDIVISION
5991 & 6001 BELVIEW AVE
MURRAY CITY, UTAH

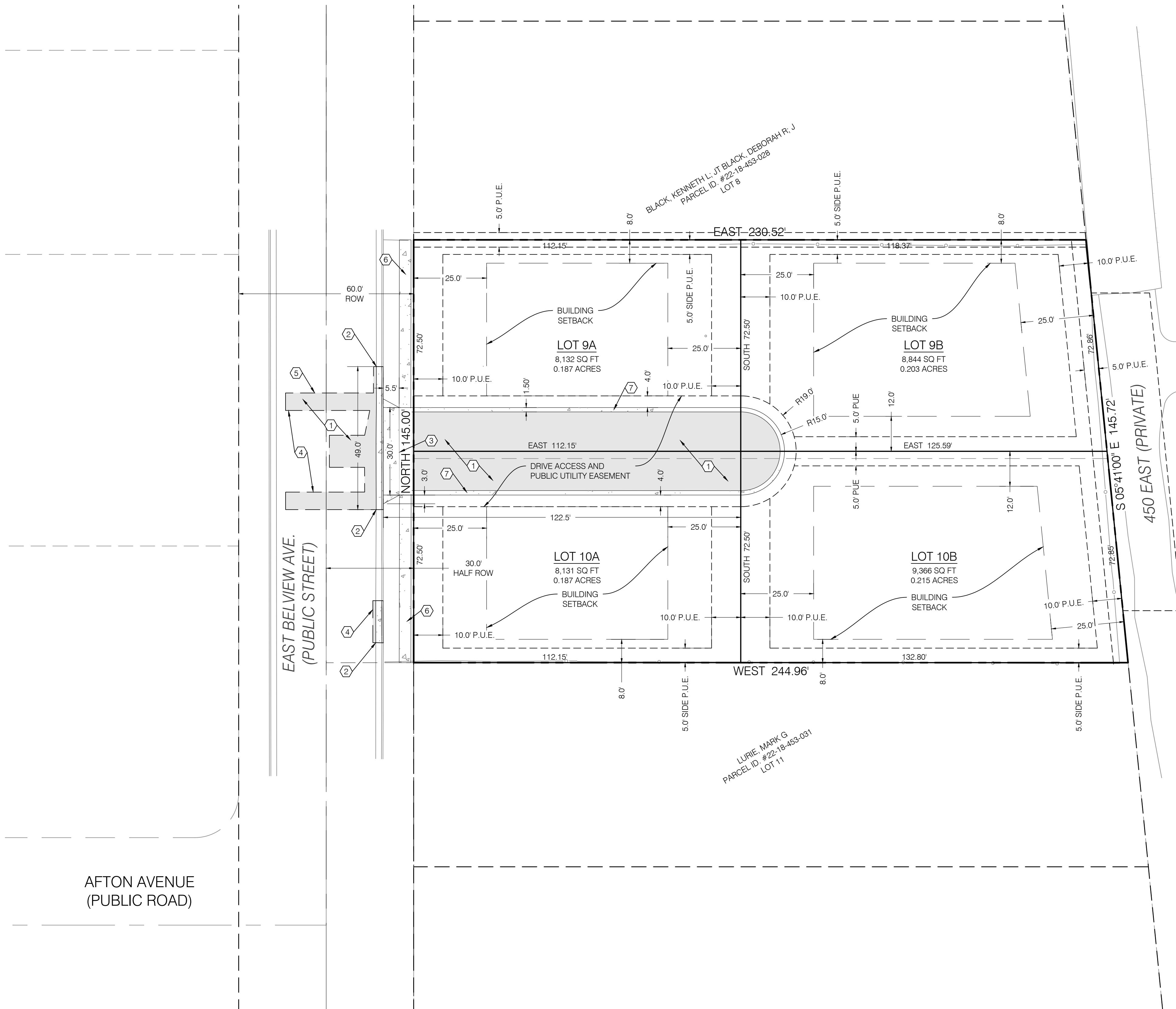
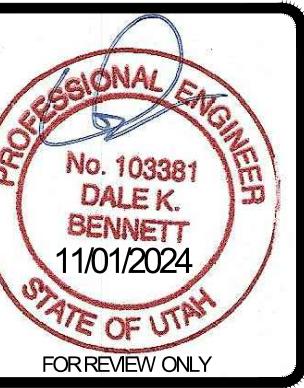
PROJECT NO.	2404059
DEMOLITION	UTAH 811
PLAN	Bluestakes.org
CDP.01	3 OF 10





CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01
②	CONCRETE CURB AND GUTTER (TYPE A) PER MURRAY CITY STDS. C-2	6/CDT.01
③	DRIVE APPROACH PER MURRAY CITY STDS. C-2	6/CDT.01
④	SAWCUT PER MURRAY CITY STDS.	
⑤	UTILITY TRENCH AND BACKFILL PER MURRAY CITY STDS.	5/CDT.01
⑥	4' SIDEWALK PER MURRAY CITY STDS. C-5	1/CDT.02
⑦	18' WIDE CONCRETE RIBBON	

DRAWN BY	TBM	No.	DATE	DESCRIPTION
CHECKED BY	AGA			
FIELD CHECKED	KOFG			
DATE	09/25/2024			
FILE	2404059 SITE			
SCALE	1:50			SCALE MEASURES INCHES ON FULL SIZE SHEETS ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



SUBDIVISION AREA TABLE (PROPOSED)		
PARTICULARS	S.F.	%
BUILDING	0	0.0
HARDSCAPE	3,718	10.8
LANDSCAPE	30,754	89.2
TOTAL	34,472	100

LOT 9A AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	2,000	24.6
HARDSCAPE	2,682	33.0
LANDSCAPE	3,450	42.4
TOTAL	8,132	100

LOT 9B AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	2,000	22.6
HARDSCAPE	1,177	13.3
LANDSCAPE	5,667	64.1
TOTAL	8,844	100

LOT 10A AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	2,000	24.6
HARDSCAPE	2,682	33.0
LANDSCAPE	3,449	42.4
TOTAL	8,131	100

LOT 10B AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	2,000	21.3
HARDSCAPE	1,177	12.6
LANDSCAPE	6,189	66.1
TOTAL	9,366	100

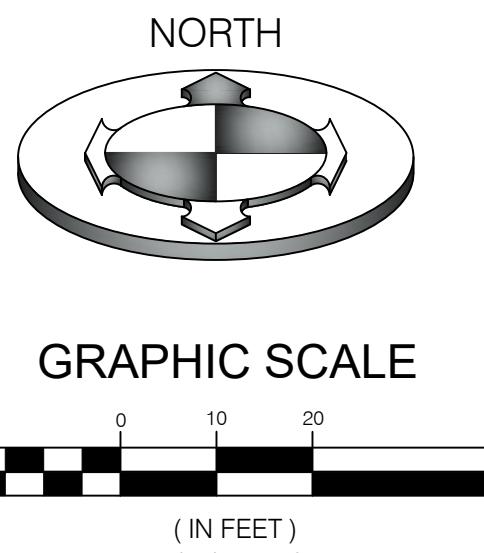
NOTE:
SLOPE ACROSS THE ACCESSIBLE PARKING STALLS & ACCESS ISLE
SHALL NOT EXCEED A 1:48 (2.00%) SLOPE. THE MAX GRADE
DIFFERENCE BETWEEN THE ASPHALT SURFACE, ACCESSIBLE RAMP,
AND SIDEWALK SHALL NOT EXCEED 1/4 INCH VERTICAL OR 1/2 INCH
WHEN BEVELED. THE ACCESSIBLE MEANS OF EGREGS INCLUDING
THE DRIVEWAY PORTION SHALL NOT EXCEED A SLOPE OF 1:20 (5.0%)
& A CROSS SLOPE OF 1:48 (2.0%). ALL EXTERIOR DOOR WAY ACCESS
REQUIRE AN EXTERIOR LANDING 60 INCHES IN LENGTH WITH A
SLOPE NOT EXCEEDING A 1:48 (2.0%) SLOPE

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO
EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD
VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN
SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS
THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE
INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70.
SEE NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.

NOTE:
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT
ACCORDANCE WITH CURRENT CITY/UDOT STANDARDS AND
SPECIFICATIONS



LOT 9A STORM DRAINAGE CALCULATIONS			LOT 9B STORM DRAINAGE CALCULATIONS			LOT 10A STORM DRAINAGE CALCULATIONS			LOT 10B STORM DRAINAGE CALCULATIONS		
Rational Method (Q=CIA)			Rational Method (Q=CIA)			Rational Method (Q=CIA)			Rational Method (Q=CIA)		
Area Identification (A)	Rational Coefficient (C)	C*A	Area Identification (A)	Rational Coefficient (C)	C*A	Area Identification (A)	Rational Coefficient (C)	C*A	Area Identification (A)	Rational Coefficient (C)	C*A
Roof = 2,000	0.9	1800 S.F.	Roof = 2,000	0.9	1800 S.F.	Roof = 2,000	0.9	1800 S.F.	Roof = 2,000	0.9	1800 S.F.
Pavement = 2,682	0.9	2413 S.F.	Pavement = 1,177	0.9	1059.3 S.F.	Pavement = 2,682	0.9	2413.8 S.F.	Pavement = 1,177	0.9	1059.3 S.F.
Landscaping = 3,450	0.2	690 S.F.	Landscaping = 5,667	0.2	1153.4 S.F.	Landscaping = 3,449	0.2	689.8 S.F.	Landscaping = 6,189	0.2	1237.8 S.F.
Sum: 8132 S.F.			Sum: 8844 S.F.			Sum: 8131 S.F.			Sum: 9366 S.F.		
MURRAY CITY (100 YEAR STORM)	Percolation Discharge = .01cfs/acre		MURRAY CITY (100 YEAR STORM)	Percolation Discharge = .01cfs/acre		MURRAY CITY (100 YEAR STORM)	Percolation Discharge = .01cfs/acre		MURRAY CITY (100 YEAR STORM)	Percolation Discharge = .01cfs/acre	
Time (min)	Intensity (in hr)	Rainfall (inches)	Rainfall Excess (cu.ft.)	Allowed Discharge (cu.ft.)	Volume to Detain (cu.ft.)	Time (min)	Intensity (in hr)	Rainfall (inches)	Rainfall Excess (cu.ft.)	Allowed Discharge (cu.ft.)	Volume to Detain (cu.ft.)
15	4.31	1.078	440	8	432	15	4.31	1.078	359	8	350
30	2.90	1.450	593	17	576	30	2.90	1.450	482	17	466
60	1.80	1.800	736	34	702	60	1.80	1.800	736	34	565
120	0.97	1.940	793	68	725	120	0.97	1.940	645	68	578
180	0.65	1.950	797	102	695	180	0.65	1.950	649	102	547
360	0.36	2.160	883	203	679	360	0.36	2.160	719	203	515
720	0.22	2.640	1079	407	672	720	0.22	2.640	878	407	472
1440	0.12	2.880	1177	814	363	1440	0.12	2.880	958	814	145
Detention Calculations			Detention Calculations			Detention Calculations			Detention Calculations		
Pond Volume			Pond Volume			Pond Volume			Pond Volume		
Pond 1 Civil 3D = 800 cf			Pond 1 Civil 3D = 700 cf			Pond 1 Civil 3D = 800 cf			Pond 1 Civil 3D = 700 cf		
Discharge			Discharge			Discharge			Discharge		
Percolation rate (P) 100.00 min/in *			Percolation rate (P) 100.00 min/in *			Percolation rate (P) 100.00 min/in *			Percolation rate (P) 100.00 min/in *		
Percolation surface area (S) 678.00 sf			Percolation surface area (S) 678.00 sf			Percolation surface area (S) 678.00 sf			Percolation surface area (S) 678.00 sf		
Allowed Discharge (Q) 0.01 cfs			Allowed Discharge (Q) 0.01 cfs			Allowed Discharge (Q) 0.01 cfs			Allowed Discharge (Q) 0.01 cfs		
* Percolation rate is the lower bound given by the USDA web soil survey and must be verified by a percolation test prior to construction.			* Percolation rate is the lower bound given by the USDA web soil survey and must be verified by a percolation test prior to construction.			* Percolation rate is the lower bound given by the USDA web soil survey and must be verified by a percolation test prior to construction.			* Percolation rate is the lower bound given by the USDA web soil survey and must be verified by a percolation test prior to construction.		
Is there adequate storage?	Storage Provided = 800 cf	Req. Storage = 725 cf	YES	Is there adequate storage?	Storage Provided = 700 cf	Req. Storage = 578 cf	YES	Is there adequate storage?	Storage Provided = 800 cf	Req. Storage = 725 cf	YES



GRADING AND DRAINAGE KEY NOTE REFERENCE	
NO. _____	DESCRIPTION
① GRADE SITE TO ELEVATIONS SHOWN ON PLAN	DETAIL
ALL HDPE/RCP CLASS III PIPE TO HAVE SOIL TIGHT JOINTS	



NOTE: EXISTING UTILITIES NOTE: EXISTING UTILITIES HAVE BEEN NOTED TO THE BEST OF ENGINEERS KNOWLEDGE, HOWEVER IT IS THE OWNERS AND CONTRACTORS RESPONSIBILITY TO LOCATE UTILITIES IN FIELD. POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. NOTIFY ENGINEER IF DISCREPANCIES OR CONFLICTS EXIST PRIOR TO CONTINUING ANY CONSTRUCTION.

NOTE: PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION. NOTIFY ENGINEER FOR REDESIGN IF CONNECTION POINT IS HIGHER THAN SHOWN OR IF ANY UTILITY CONFLICTS OCCUR. GRAVITY CONNECTIONS MUST BE DONE PRIOR TO BUILDING FOOTINGS AND ROUGH PLUMBING ARE CONSTRUCTED.

SURVEY CONTROL NOTE: THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

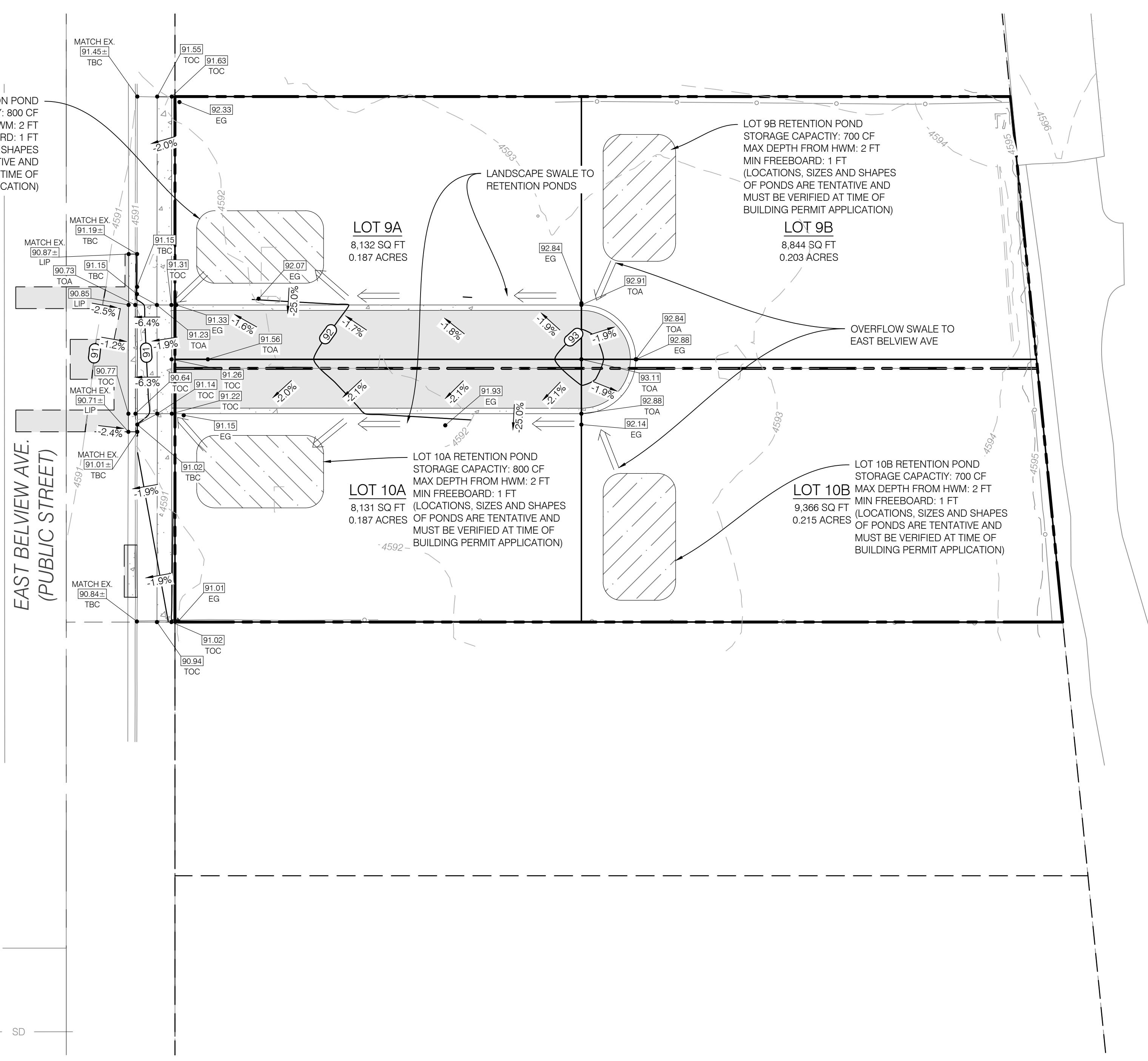
NOTE: SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS TO EXISTING GRADE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION, EXTENT OF SAWCUTTING, AND TIE-IN SLOPES TO EXISTING GRADE PRIOR TO CONSTRUCTION. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SHALL TIE INTO EXISTING GRADE PER SLOPES LISTED ON CGN.01 NOTE 70. SEE NOTES 66, 70, 82, & 83 ON CGN.01 FOR FURTHER DETAIL.

NOTE: EACH LOT IS TO RETAIN THEIR OWN STORMWATER AS REQUIRED BY MURRAY CITY. THE FRONT YARDS AND THE PORTION OF ROOF THAT DRAINS INTO EAST BELVIEW AVE. CAN DRAIN DIRECTLY INTO THE STREET.

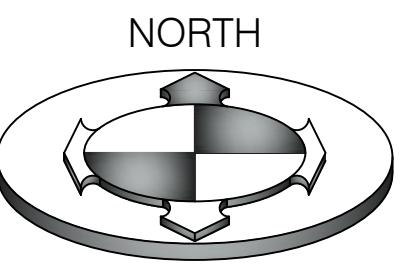
BENCHMARK: THE SOUTHWEST CORNER OF SECTION 18, TOWNSHIP 2 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. ELEVATION = 4573.16



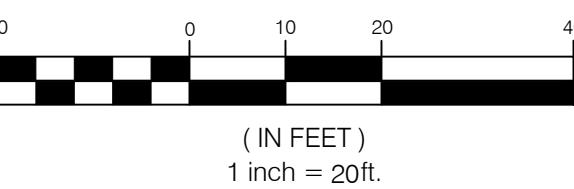
PROJECT NO. 2404059
GRADING & DRAINAGE PLAN
CGD.01
6 OF 10



MURRAY BURTON ACRES
SUBDIVISION
5991 & 6001 BELVIEW AVE
MURRAY CITY, UTAH



GRAPHIC SCALE



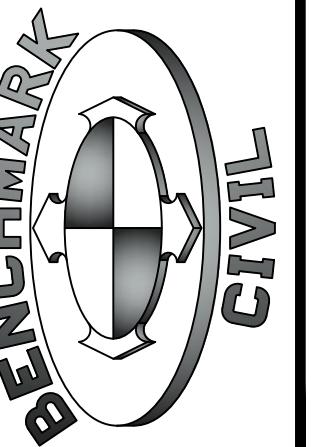
SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.		
NO	DESCRIPTION	DETAIL
①	CONCRETE WASTE MANAGEMENT	1/CEP.02
②	INLET PROTECTION WATTLE	2/CEP.02
③	MATERIALS STORAGE	3/CEP.02
④	PORTABLE TOILETS	4/CEP.02
⑤	SILT FENCE	6/CEP.02
⑥	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02

DRAWN BY	TBM	No.	DATE
CHECKED BY	AGA		
FIELD CREW	KOFG		
DATE	09/25/2024		
FILE #	2404059 SITE		
0	0		

SCALE MEASURES 1 INCH ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

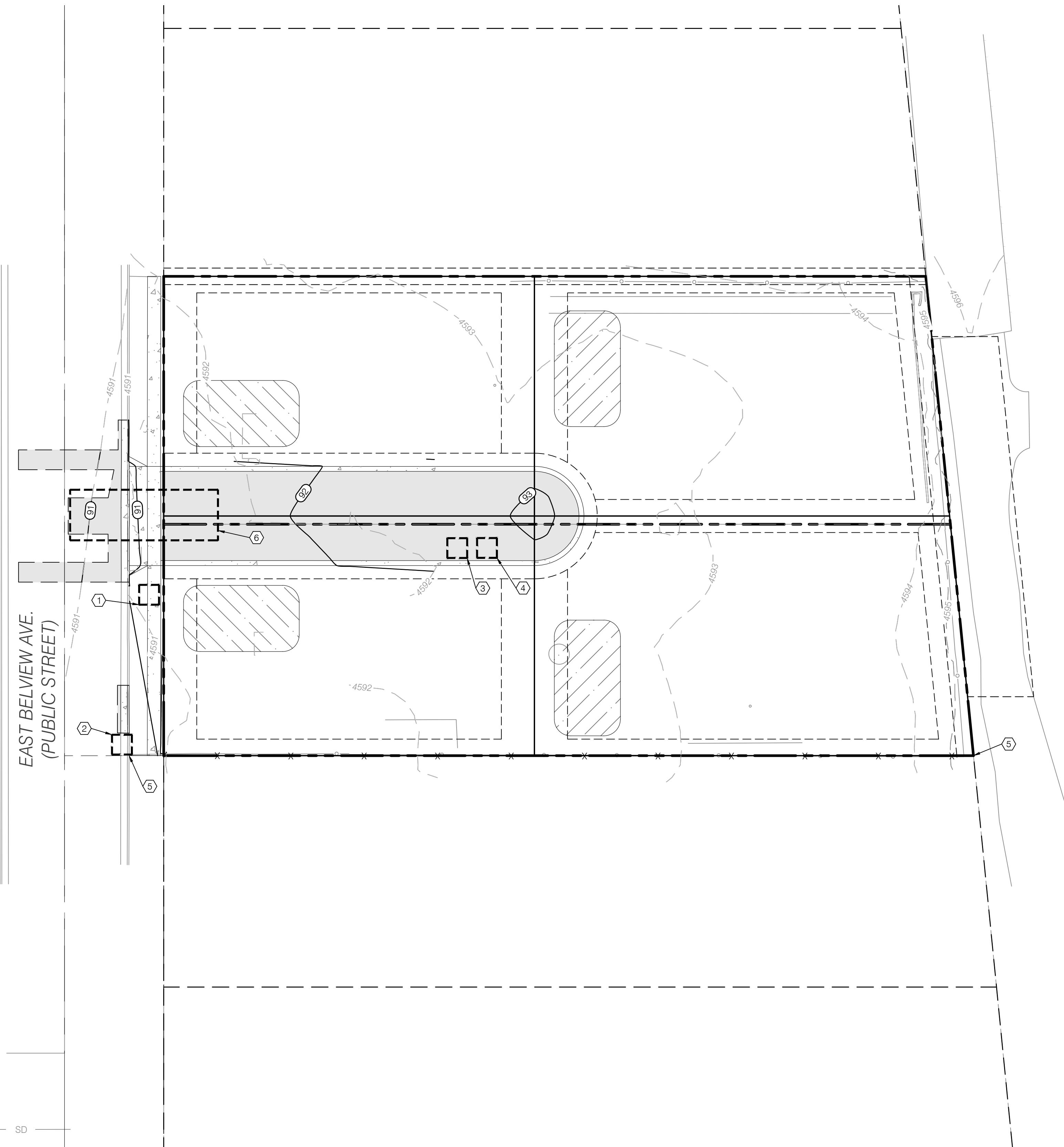


NOTE:
CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.



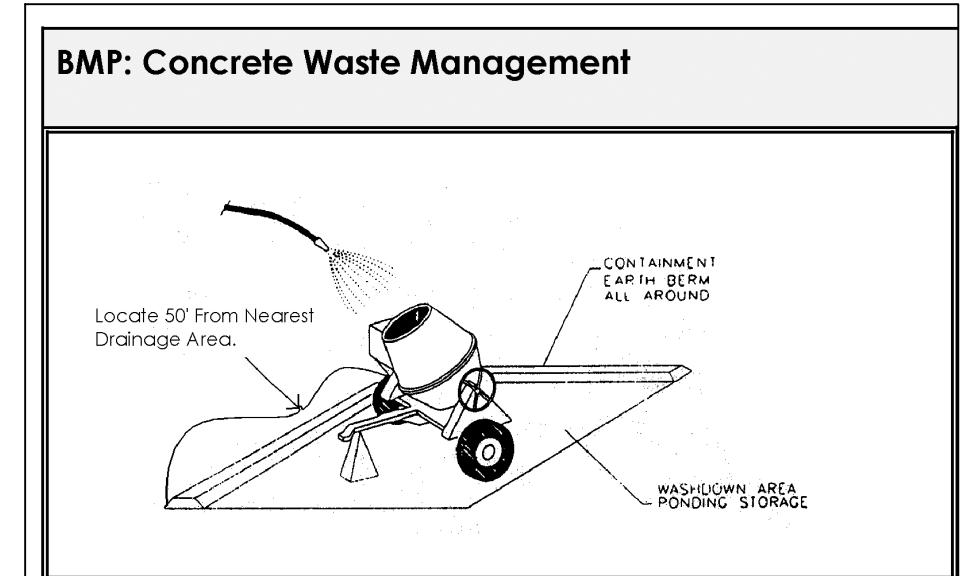
MURRAY BURTON ACRES
SUBDIVISION
5991 & 6001 BELVIEW AVE
MURRAY CITY, UTAH

Blue Stakes of
UTAH811
EROSION
CONTROL
PLAN
CEP.01
7 OF 10



Bluestakes.org

PROJECT NO. 2404059
CEP.01
7 OF 10



DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

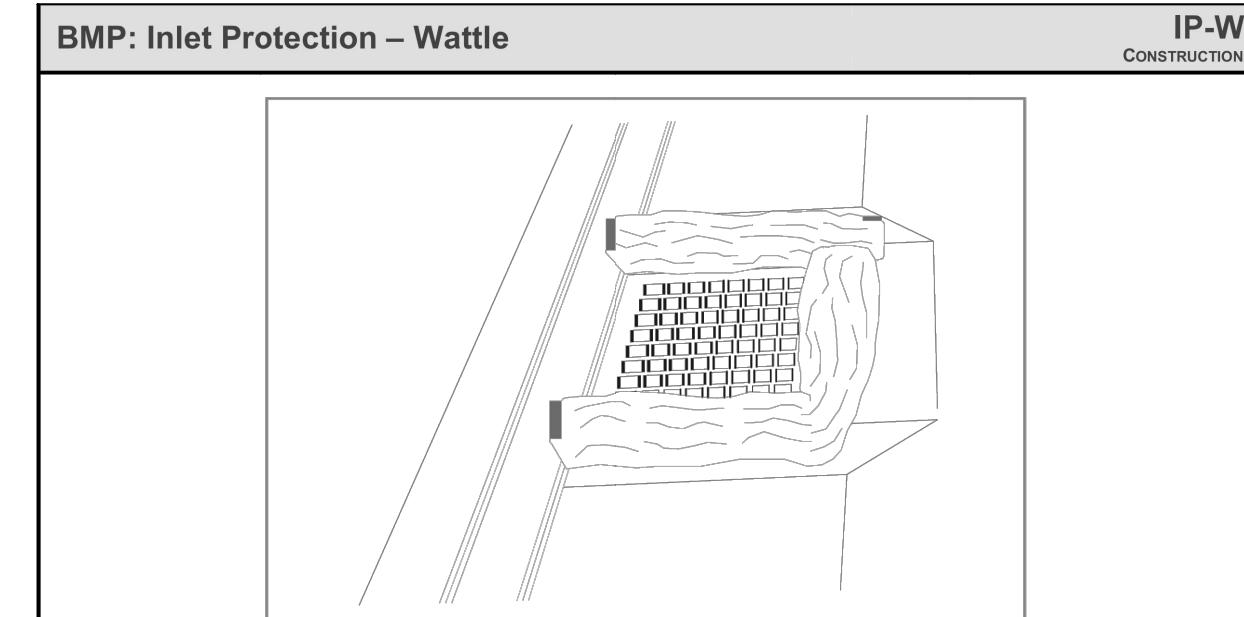
- Do not allow concrete to remain on site longer than necessary.
- Avoid creating excess amounts of fresh concrete or cement on site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a berm or level area. (See Earth Berm Barrier Information sheet).
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:

- Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.



DESCRIPTION:
Sediment barrier erected around storm drain inlet.

APPLICATION:
Construct at storm drainage inlets located down-gradient of areas to be disturbed by construction.

INSTALLATION/APPLICATION CRITERIA:

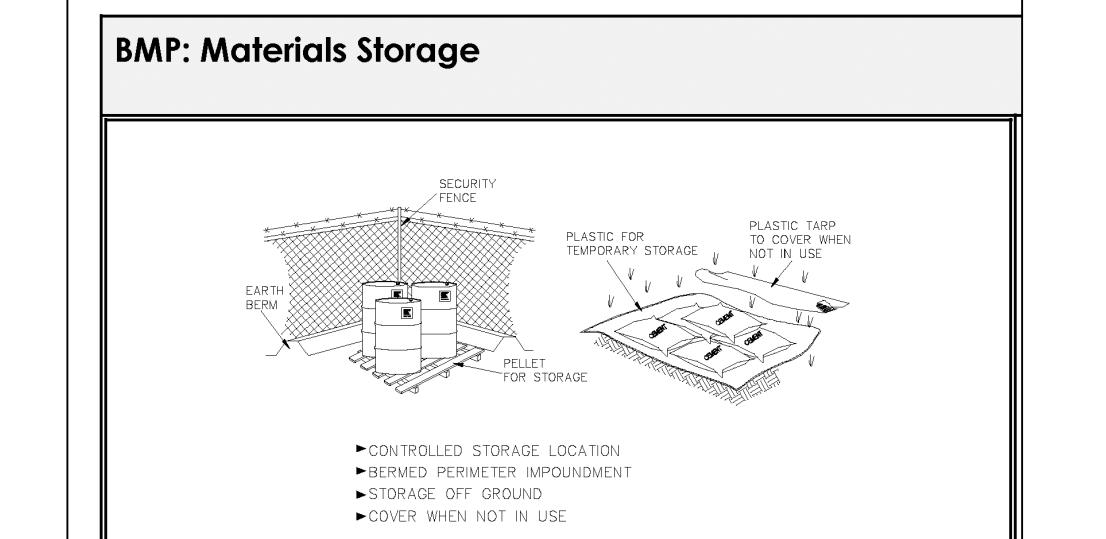
- Provide up-gradient sediment controls, such as silt fence during construction of inlet
- When construction of curb and gutter and roadways is complete, install gravel filled wattles around perimeter of inlet

LIMITATIONS:

- Recommended maximum contributing drainage area of one acre
- Requires shallow slopes adjacent to inlet

MAINTENANCE:

- Inspect inlet protection following storm event and at a minimum of once every 14 days.
- Remove accumulated sediment when it reaches 4 inches in depth.
- Look for bypassing or undercutting and repair or realign as needed.



DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:

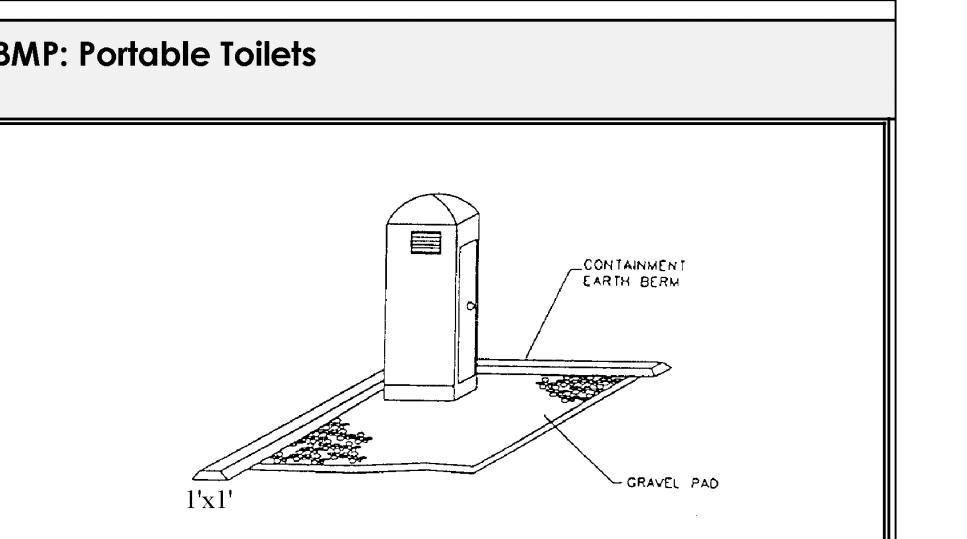
- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earth berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site materials are stored in the designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

LIMITATIONS:

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:

- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright), in labeled containers, tightly capped) and that no materials are being stored away from the designated location.



DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

LIMITATIONS:

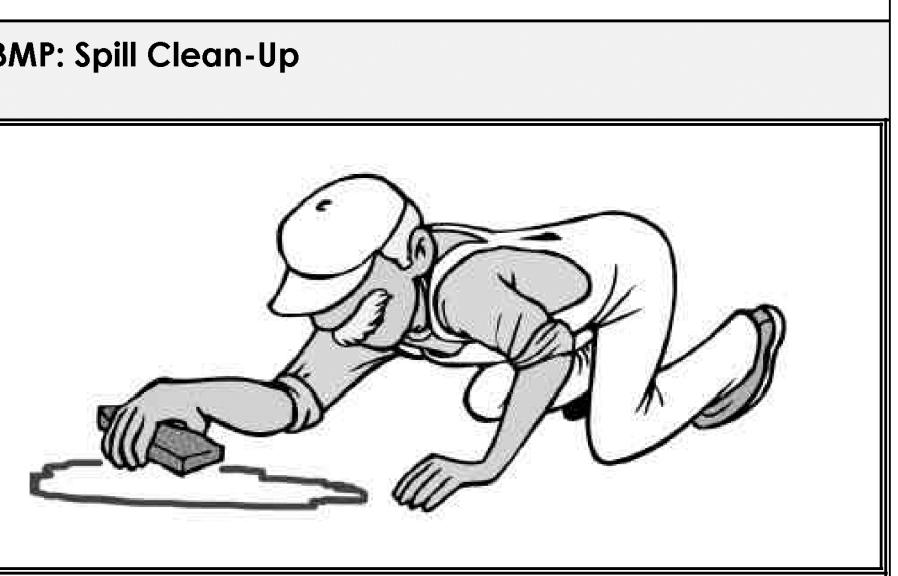
- No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
- Document spill with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:

- All sites

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

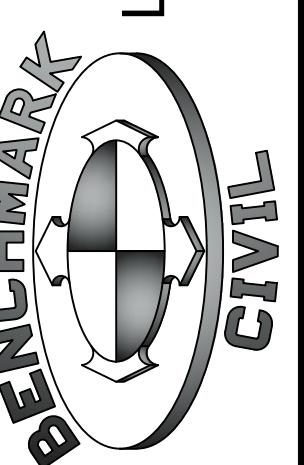
METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste.
- Document spill with date, location, substance, volume, actions taken and other pertinent data.
- Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

DRAWN BY	TM
checked by	AGA
FIELD CREW	KOFG
DATE	09/25/2024
DWG. FILE	05
SCALE	1:1
SCALE MEASURES HINCH ON FULL SIZE SHEETS ADJUST ACCORDINGLY	



BENCHMARK
LAND SURVEYING &
CIVIL



MURRAY BURTON ACRES
SUBDIVISION
5991 & 6001 BELVIEW AVE
MURRAY CITY, UTAH

PROJECT NO. 2404059
EROSION CONTROL DETAILS
CEP.02
8 OF 10

CONCRETE WASTE MANAGEMENT 1

SCALE: NTS

INLET PROTECTION WATTLE 2

SCALE: NTS

MATERIALS STORAGE 3

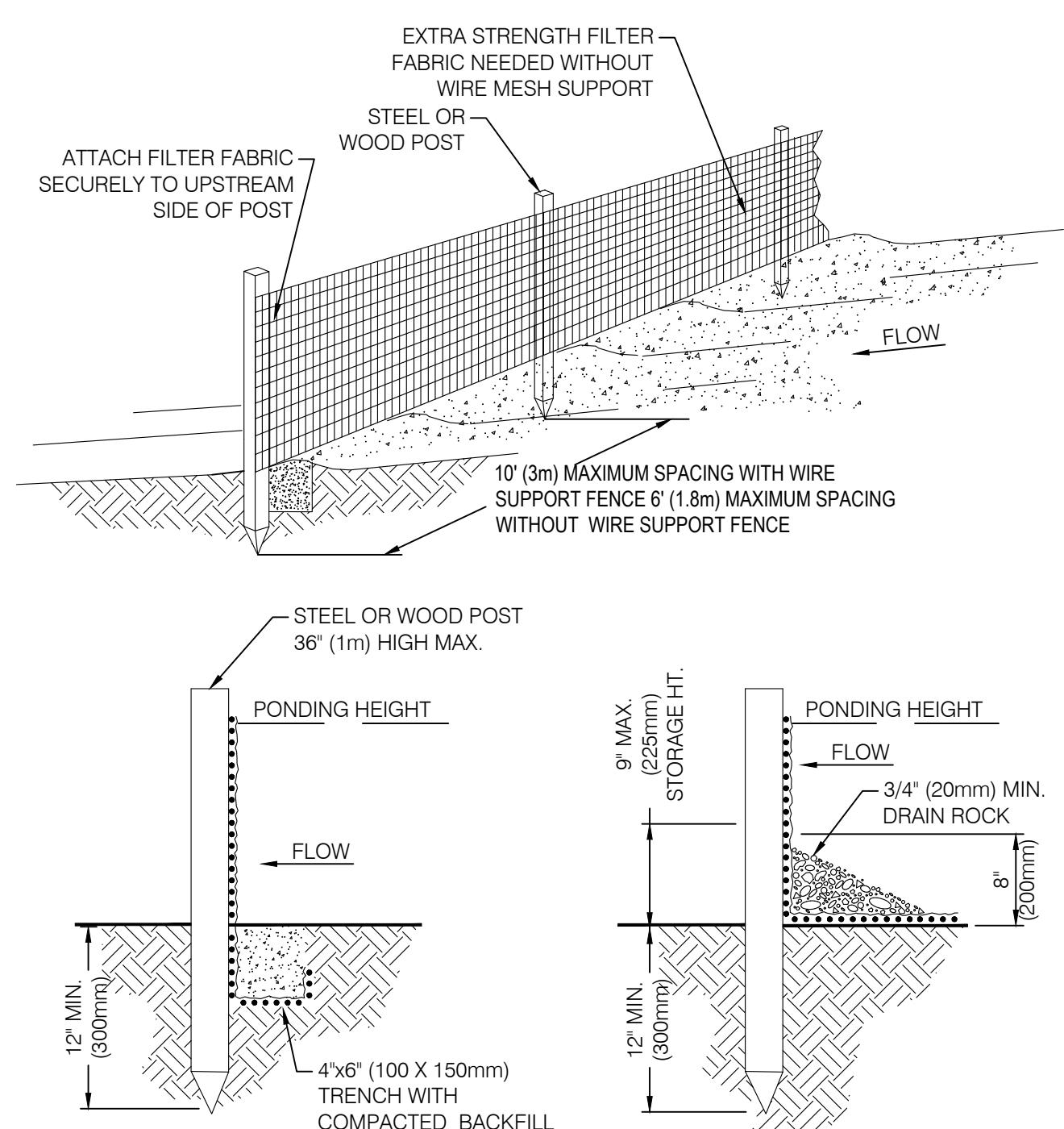
SCALE: NTS

PORTABLE TOILETS 4

SCALE: NTS

SPILL CLEAN UP 5

SCALE: NTS

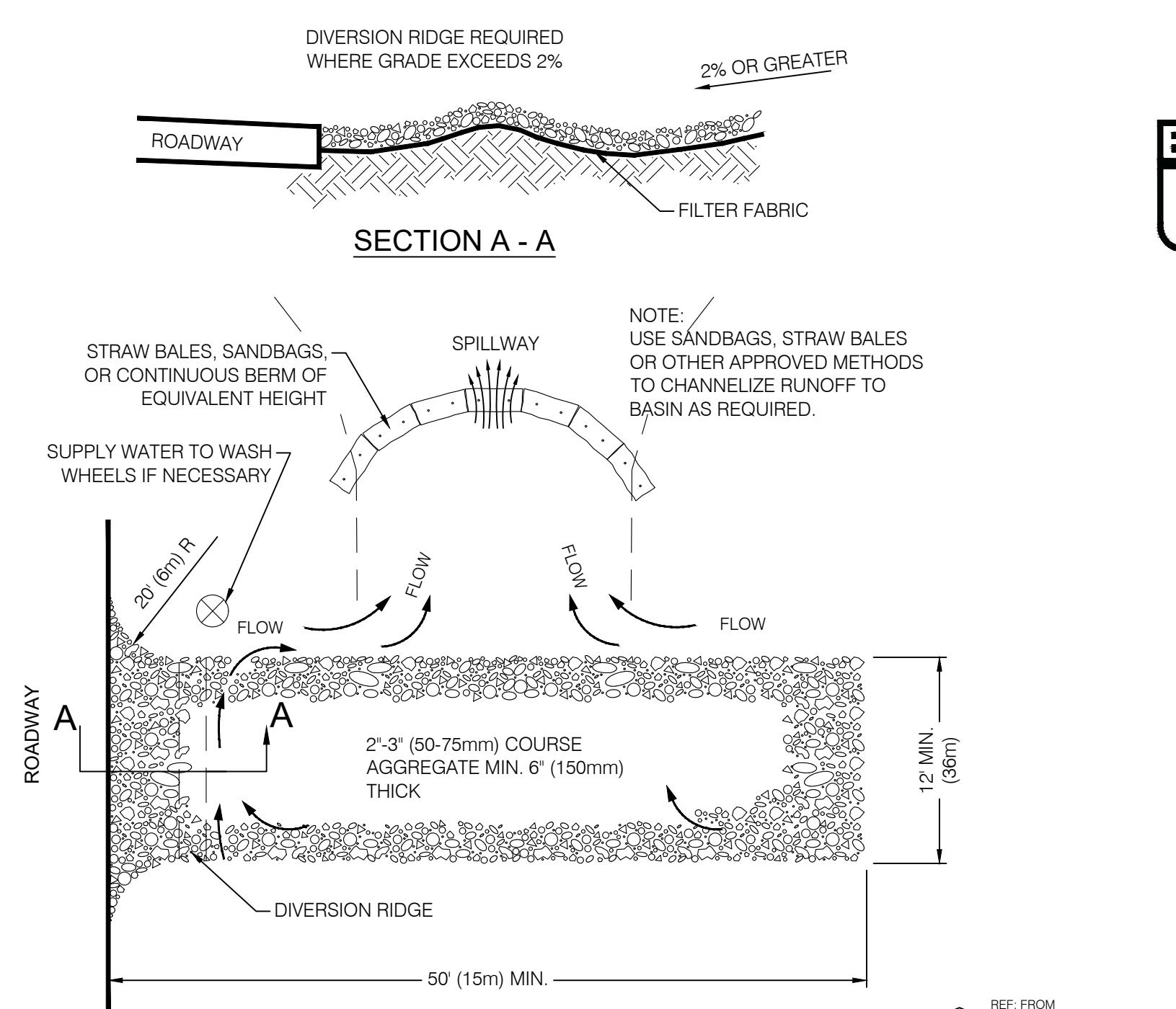


NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

TRENCH DETAIL
NOT TO SCALE

REF. FROM
1994 JOHN McCULLAH



NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT 7

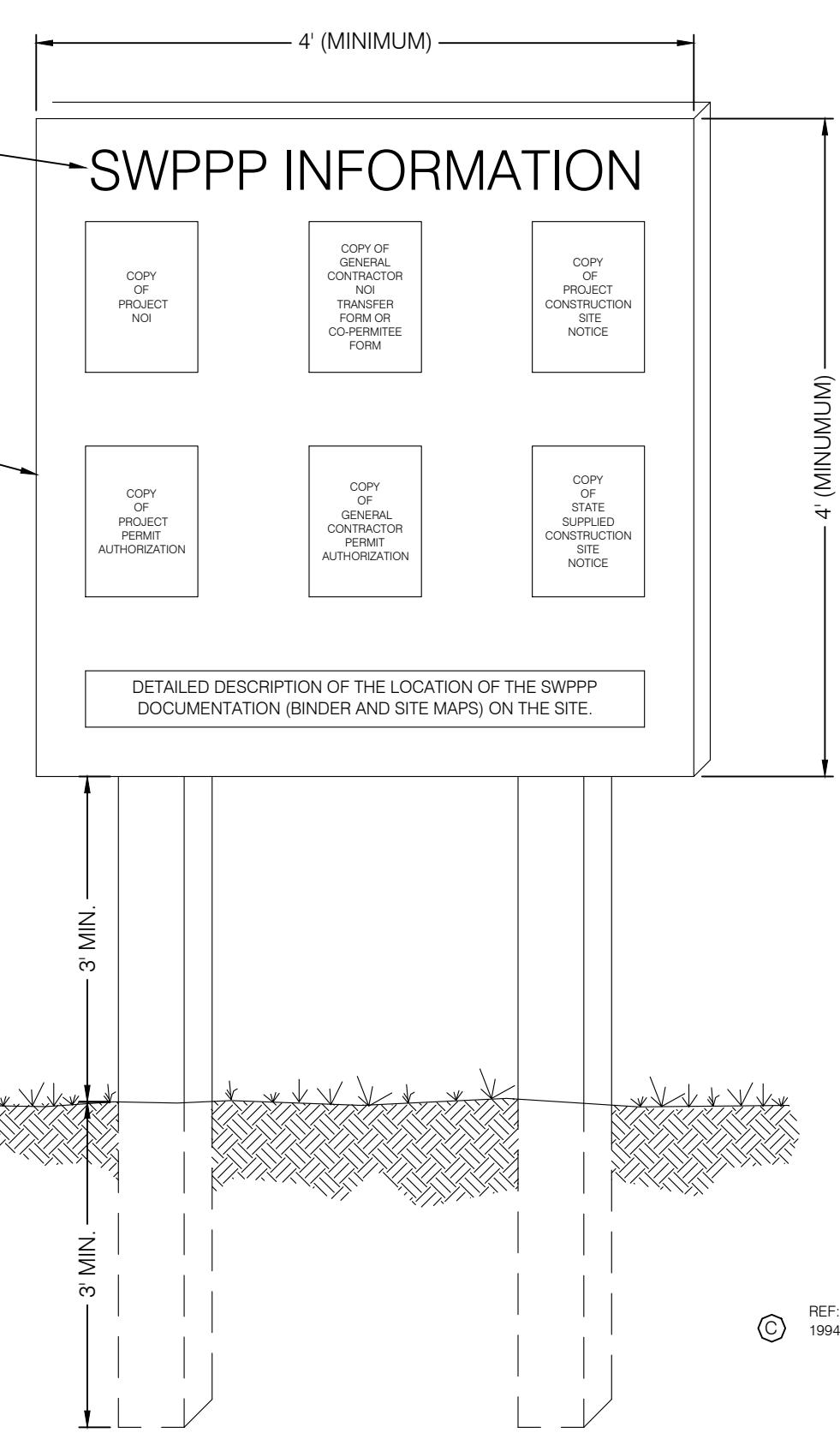
SCALE: NTS



"SWPPP INFORMATION" MUST BE
DISPLAYED PROMINENTLY ACROSS THE
TOP OF THE SIGN, AS SHOWN IN THE
DETAIL.

SIGN TO BE CONSTRUCTED OF A RIGID
MATERIAL SUCH AS PLYWOOD OR
OUTDOOR SIGN BOARD. SIGN MUST BE
CONSTRUCTED IN A MANNER TO
PROTECT DOCUMENTS FROM DAMAGE
DUE TO WEATHER (WIND, SUN,
MOISTURE, ETC.)

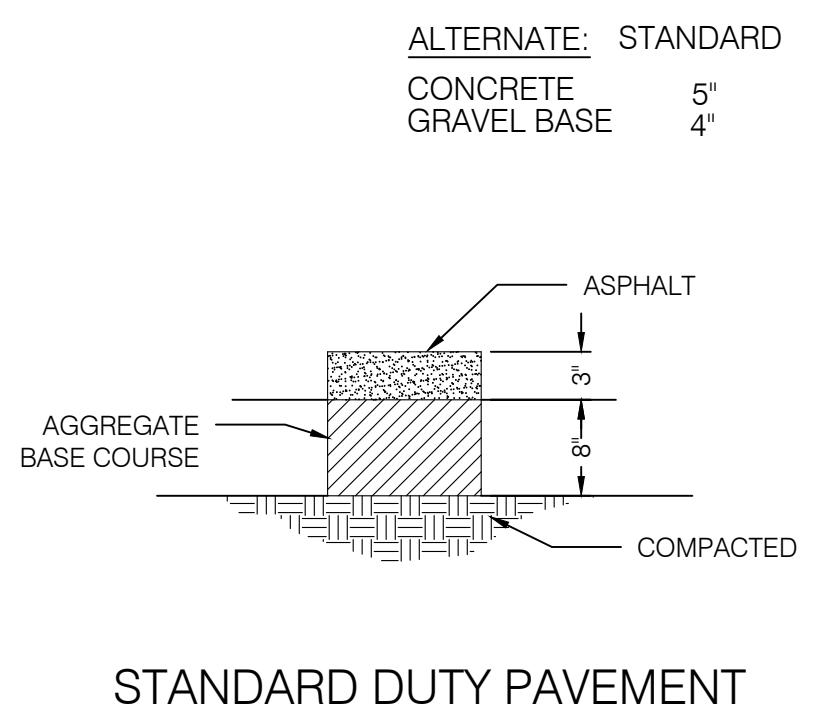
- 1) THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
- 2) ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-TO TERMINATION (NOT) IS FILED FOR THE PERMIT.
- 3) CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
- 4) SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
- 5) CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY IF THE SWPPP INFORMATION SIGN.



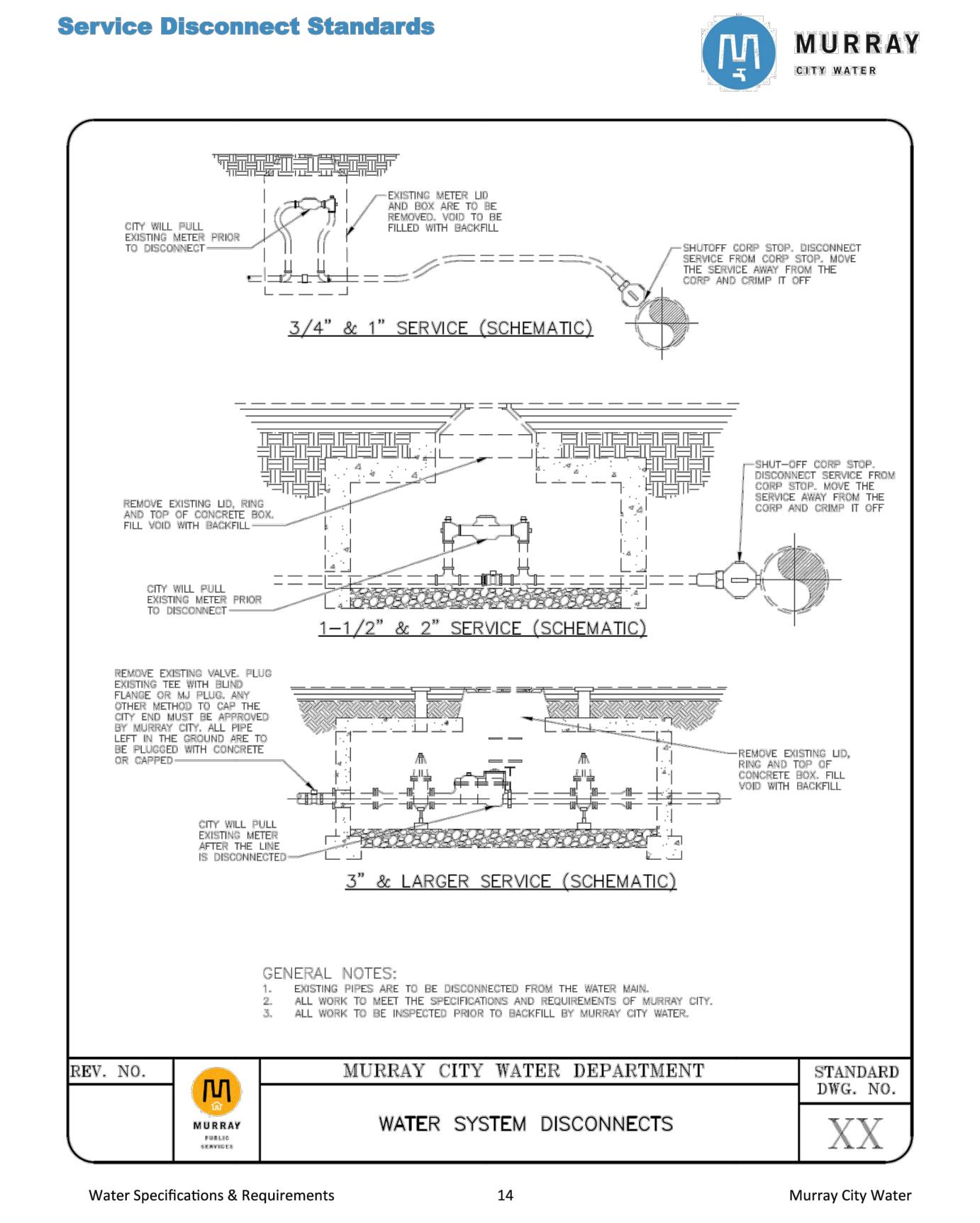
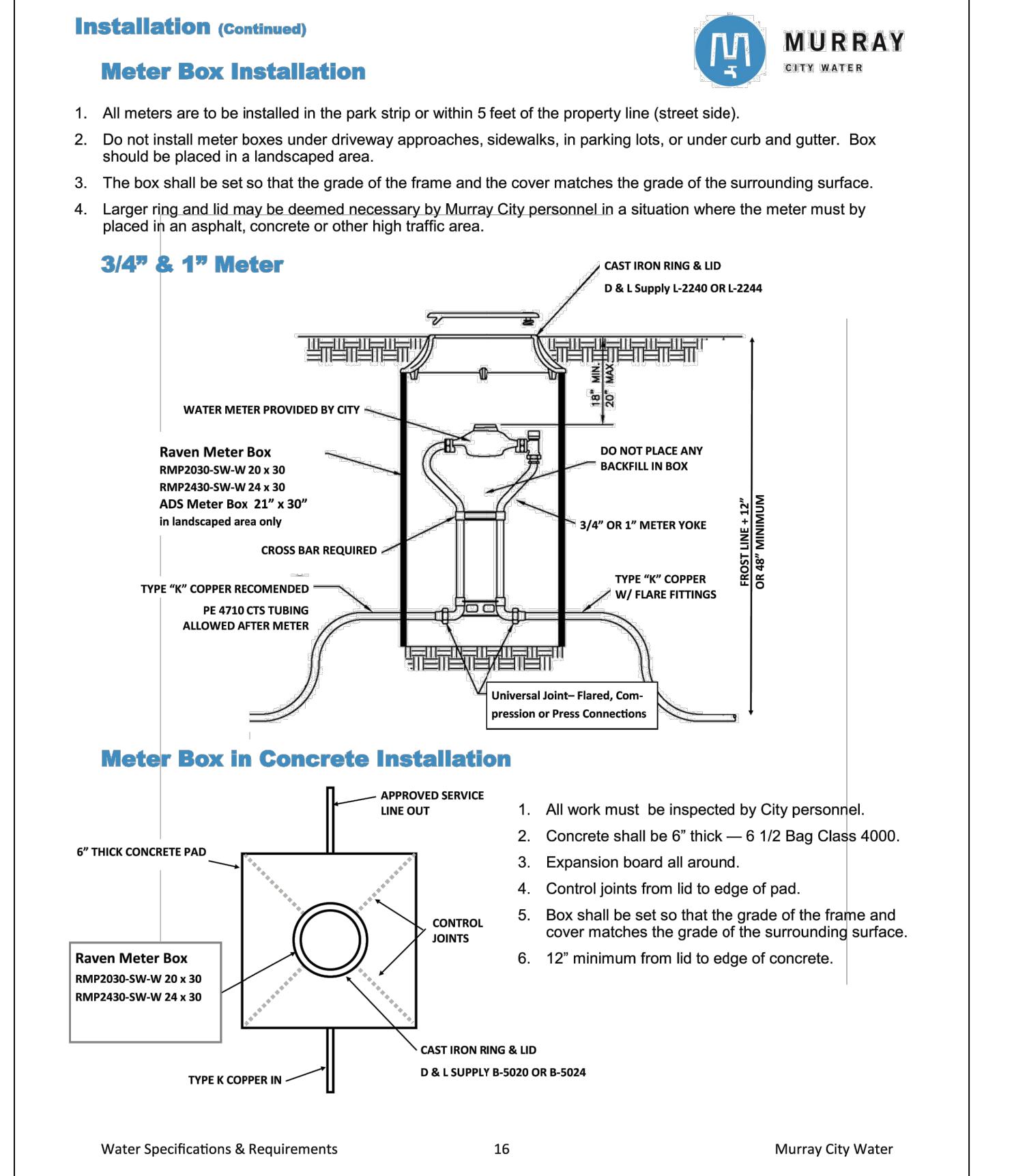
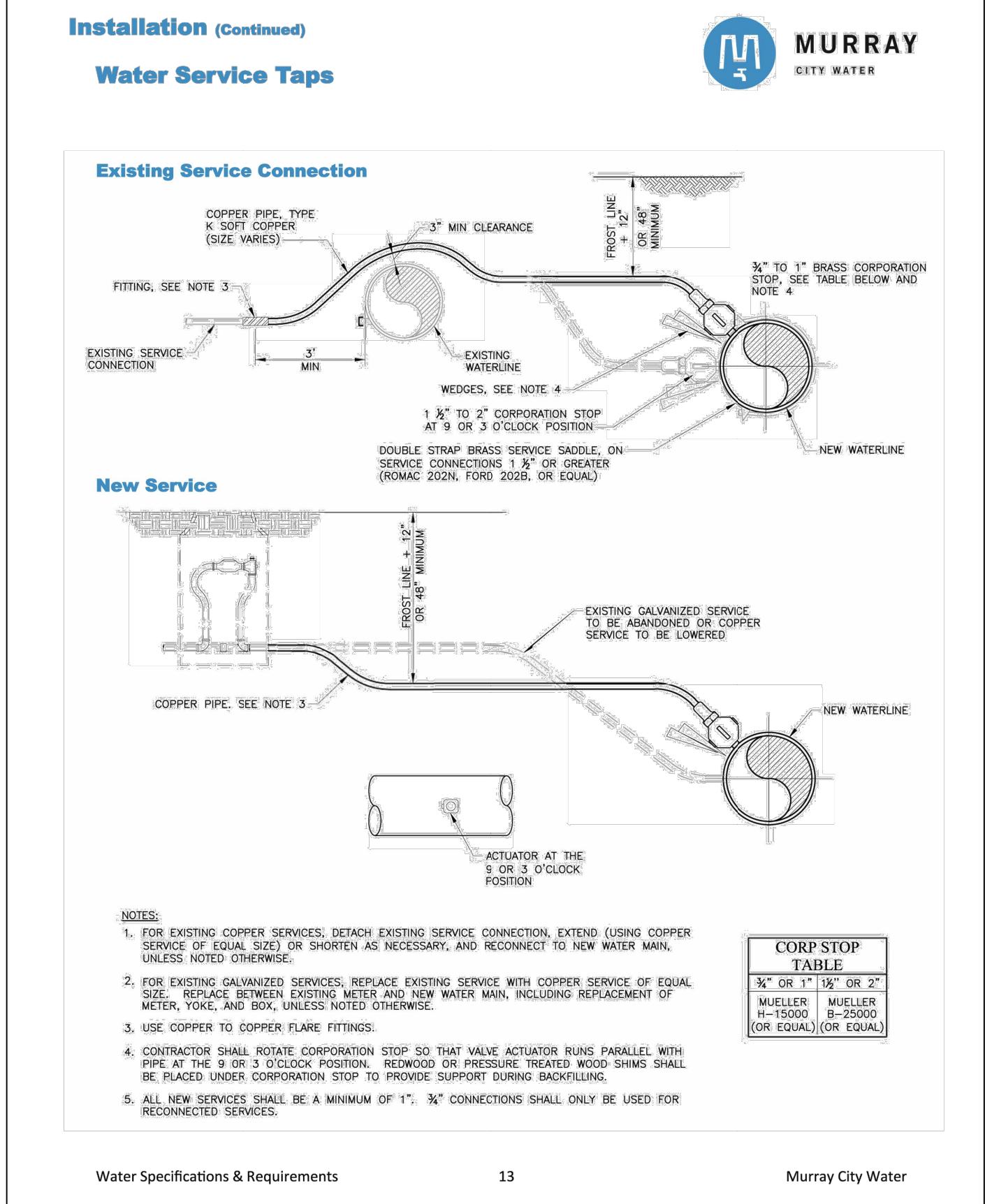
SWPPP INFORMATION SIGN 8

SCALE: NTS

PROJECT NO. 2404059
EROSION CONTROL DETAILS
CEP.02
8 OF 10



NOTE:
1. FOR REINFORCEMENT DESIGN OF PCC PAVEMENT
SECTIONS SEE STRUCTURAL ENGINEER
2. FOR DOWEL DESIGN OF PCC PAVEMENT SECTIONS SEE
GEOTECHNICAL ENGINEER.

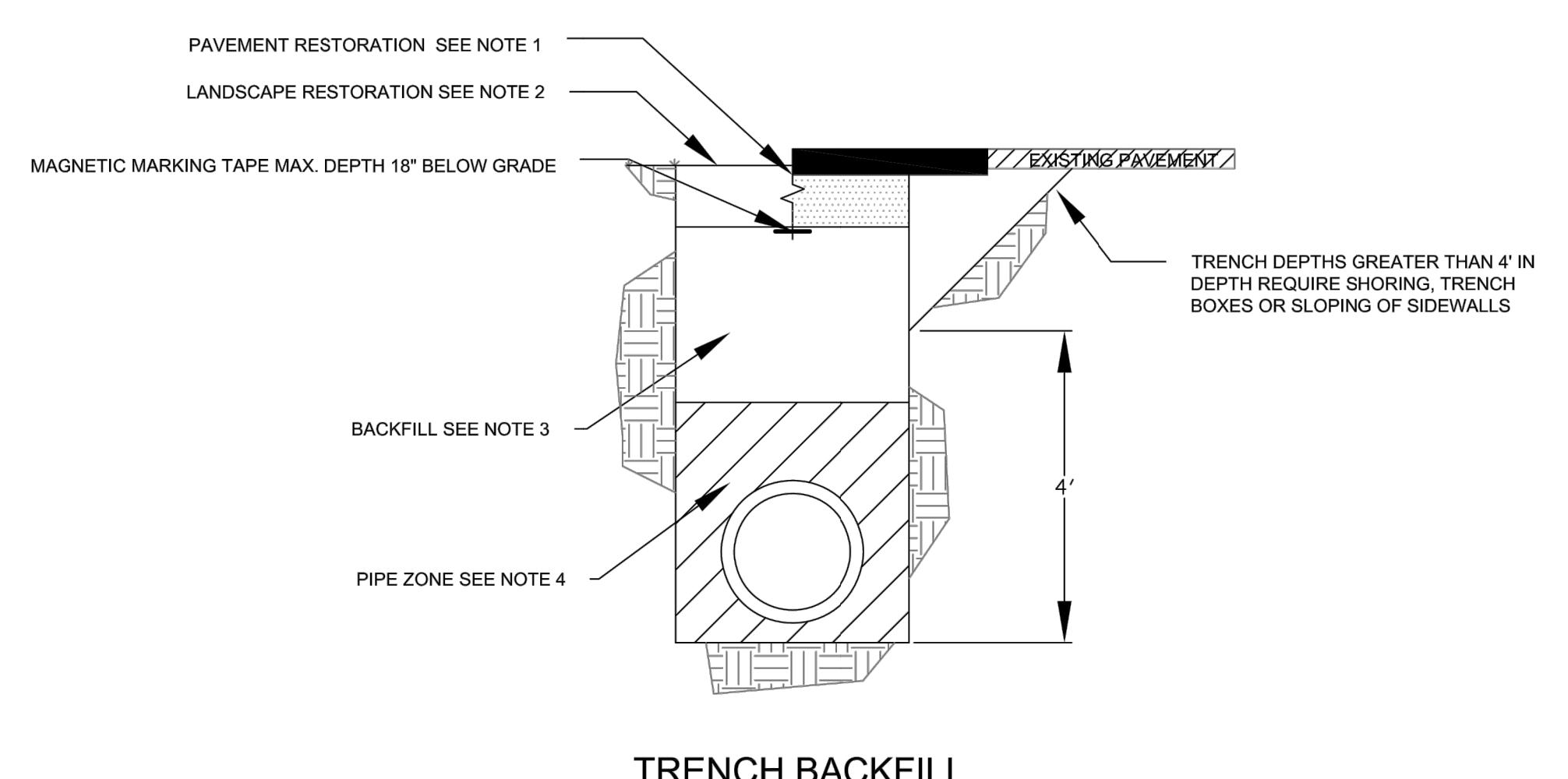


PAVEMENT SECTIONS ①
SCALE: NTS

WATER SERVICE TAP PER MURRAY CITY STD. ②
SCALE: NTS

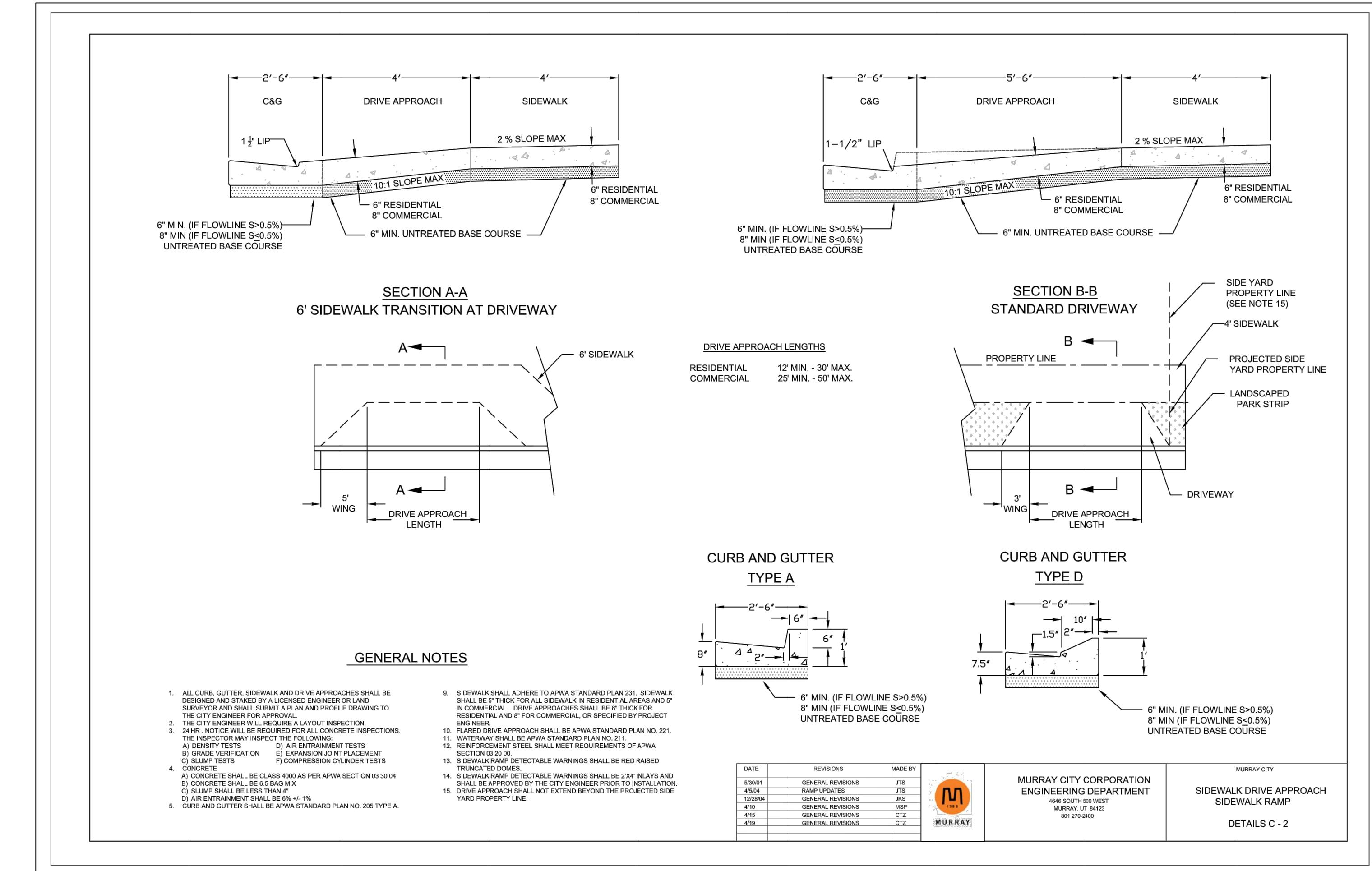
1" WATER METER PER MURRAY CITY STD. ③
SCALE: NTS

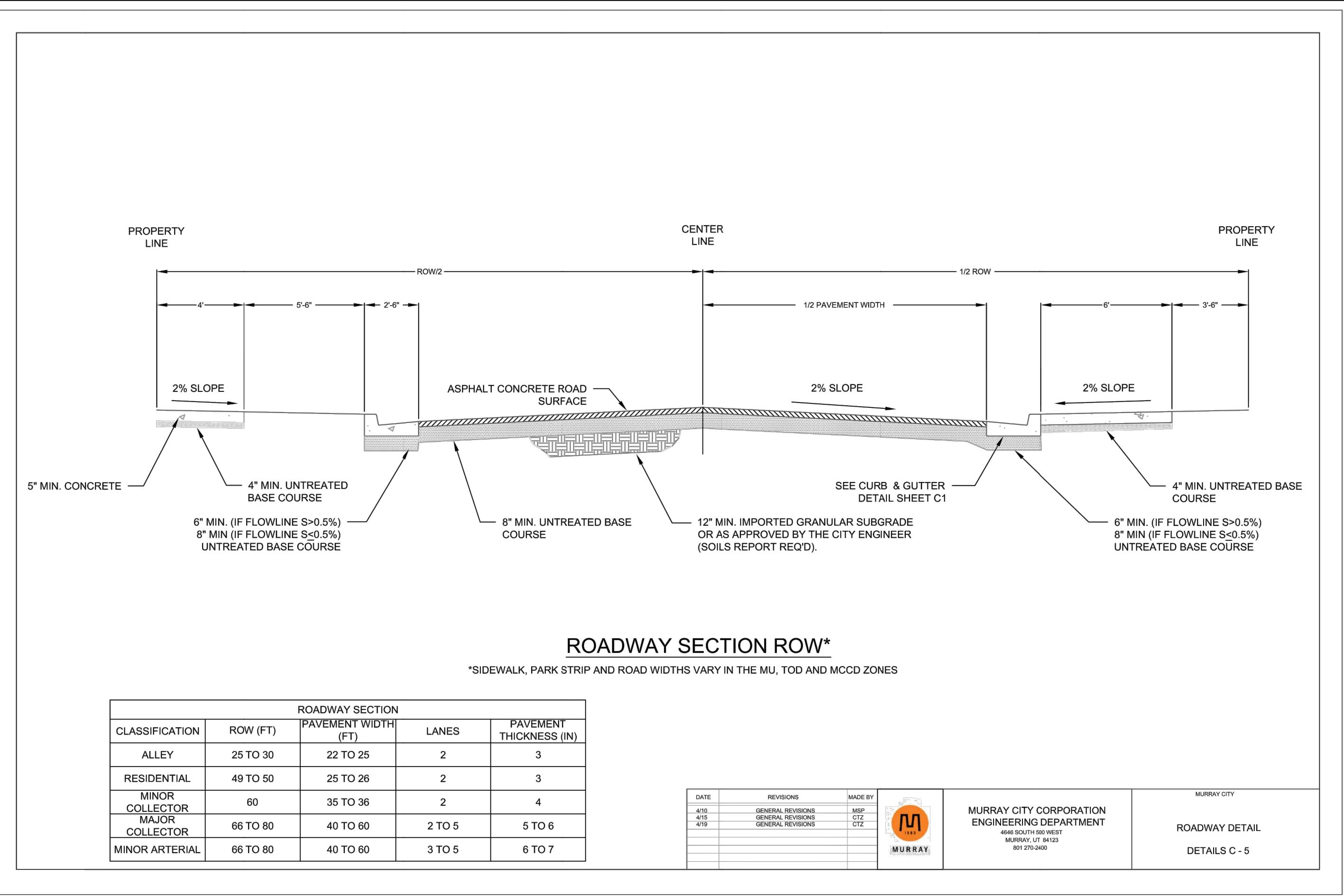
WATER DISCONNECTS PER MURRAY CITY STD. ④
SCALE: NTS



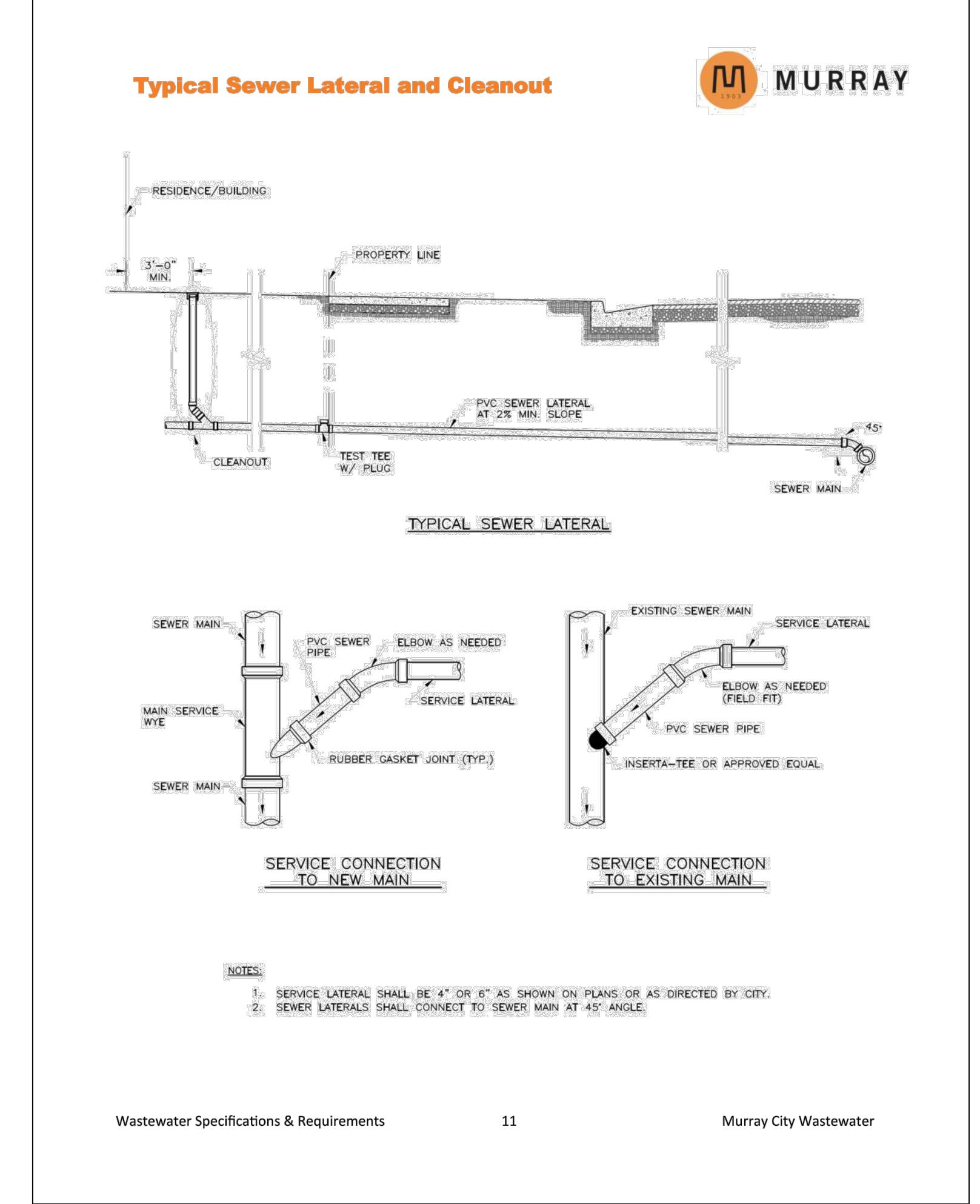
DATE	REVISIONS	MADE BY	MURRAY CITY CORPORATION	MURRAY CITY
5/20/2018	GENERAL REVISIONS	MS		
5/21/2018	GENERAL REVISIONS	CZ2		
5/21/2018	GENERAL REVISIONS	CZ2		
			MURRAY	
			4646 SOUTH 600 WEST MURRAY, UT 84120 801-270-2400	
			TRENCH BACKFILL	
			DETAIL C-7	

TRENCH BACKFILL PER MURRAY CITY STD. C-7 ⑤
SCALE: NTS



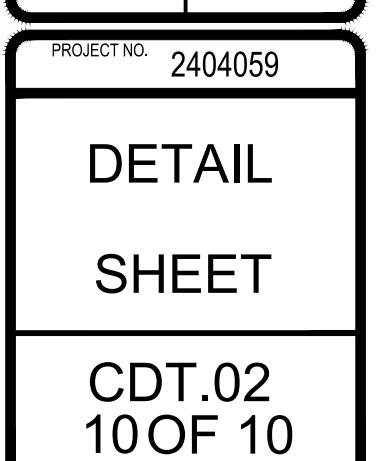
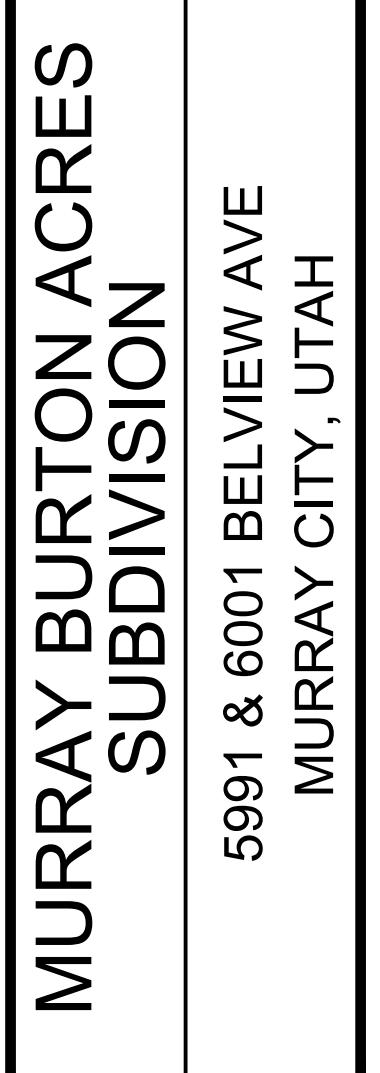
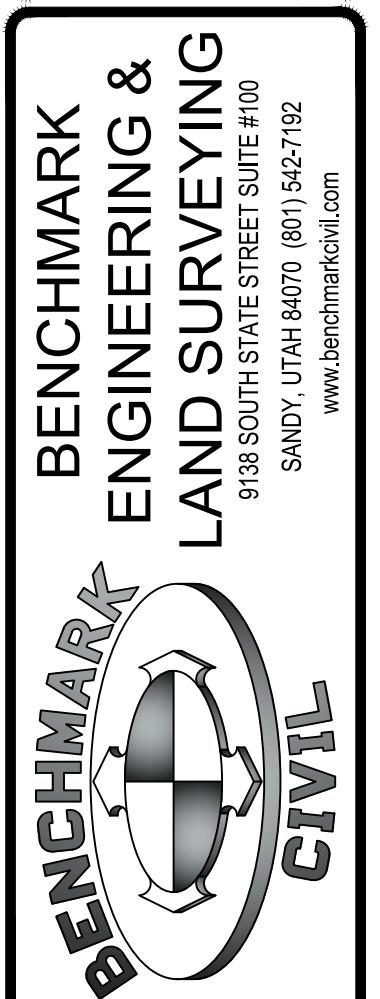


SIDEWALK PER MURRAY CITY STD. C-5 ①
SCALE: NTS

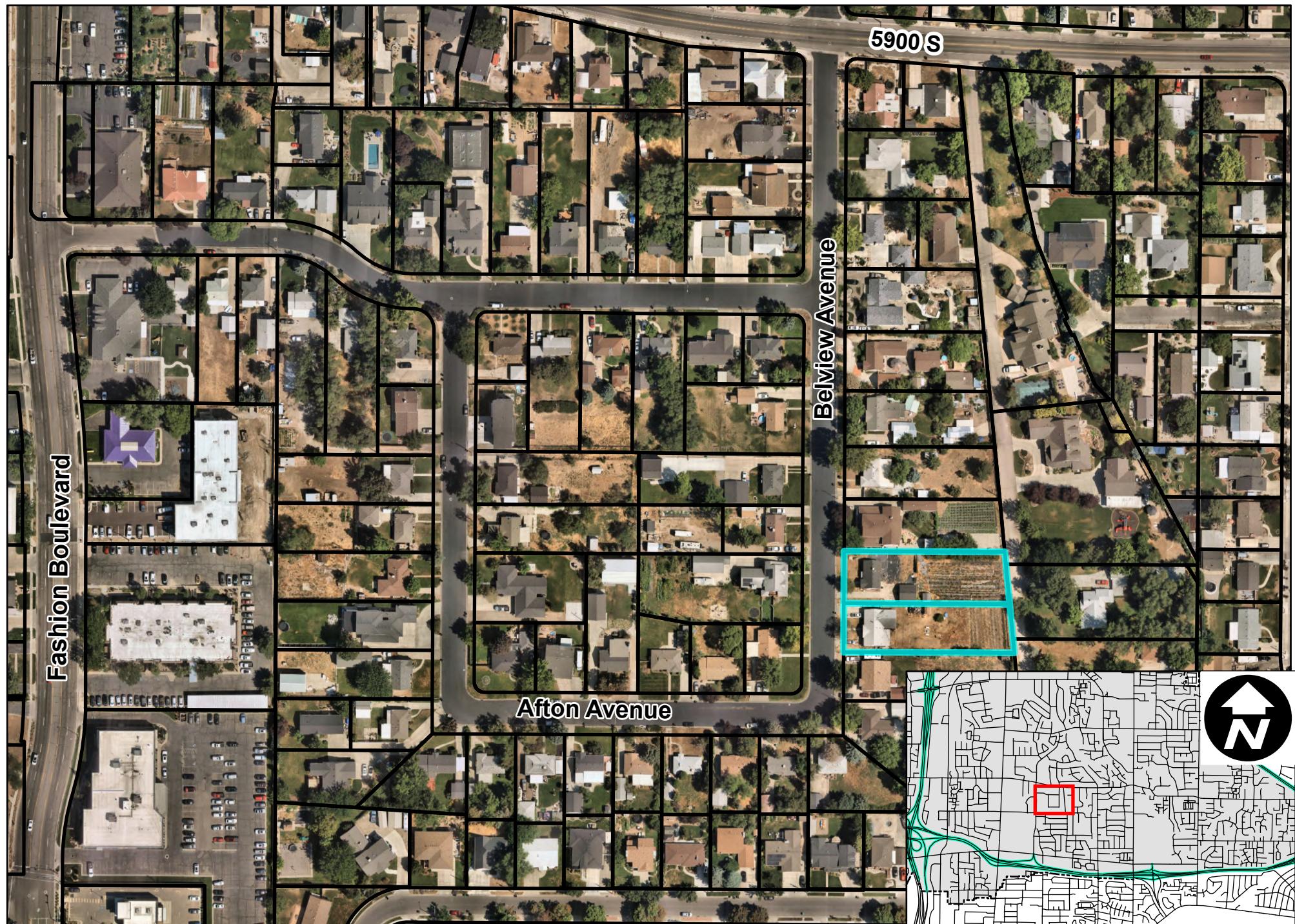


SEWER LATERAL PER MURRAY CITY STD. ②
SCALE: NTS

DRAWN BY	TBM	No.	DATE	DESCRIPTION
CHECKED BY	AGA			
FIELD CHECKED	KOFG			
DATE	09/25/2024			
FILE NUMBER	2404059 SITE			
SCALE MEASURES INCHES ON FULL SIZE SHEETS ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS				



5991 & 6001 South Belview Ave.



5991 & 6001 South Belview Ave.

